



135 SOUTH MAIN STREET
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INTERIOR DESIGN

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C&T DESIGN AND EQUIPMENT CO.

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INDIANAPOLIS, INDIANA 46219
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NOTES

- 2.1 EXISTING TREE
- 2.2 EXISTING GRASS
- 2.3 EXISTING PLANTING AREA
- 2.4 NEW ORNAMENTAL PLANTINGS
- 3.0 EXISTING CONCRETE CURB
- 3.1 EXISTING CONCRETE SIDEWALK
- 3.2 NEW CONCRETE SIDEWALK
- 3.3 CONCRETE STEPS
- 4.1 EXISTING BRICK SIDEWALK
- 4.2 RELOCATED BRICK PAVERS
- 4.8 CLEAN EXISTING LIMESTONE
- 5.1 STEEL HANDRAIL
- 5.2 BLACK IRON FENCE
- 5.3 REMOVE EXISTING BLACK IRON FENCE AND SALVAGE FOR REUSE
- 5.4 RELOCATED SECTION OF BLACK IRON FENCE
- 5.5 REPLACE EXISTING STEEL HANDRAIL WITH NEW STEEL HANDRAIL
- 7.1 EXISTING ORIGINAL SIDING (REMOVE SHINGLES OVER EXISTING SIDING)
- 7.5 EXISTING ASPHALT SHINGLES
- 7.10 ASPHALT SHINGLES
- 7.33 COMPOSITE LAP SIDING
- 7.34 PREFINISHED GUTTER
- 7.35 PREFINISHED DOWNSPOUT
- 7.37 COMPOSITE TRIM
- 7.38 18" P/E (2) PIECE WALL CAP
- 8.1 EXISTING DOOR AND TRANSOM TO REMAIN
- 8.2 CLAD WOOD DOOR
- 8.3 CLAD BI-FOLD DOOR
- 9.7 PAINT EXISTING WINDOW FRAME AND TRIM
- 9.8 PAINT EXISTING WOOD FASCIA
- 10.3 WALL MOUNTED ARTWORK
- 10.4 WEATHER VANE
- 10.5 DECORATIVE SHUTTER
- 10.6 BLADE SIGN
- 26.3 WALL MOUNTED LIGHT FIXTURE

1
A503
STREETSCAPE ELEVATION

1" 4" 8" 12"
ORIGINAL SCALE PRINTED @ 30X42 IS 1/4" = 1'-0"



2
A503
STREETSCAPE PLAN VIEW

1" 4" 8" 12"
ORIGINAL SCALE PRINTED @ 30X42 IS 1/4" = 1'-0"

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Architecture & Interiors
THE ART OF BUILDING™

ISSUE DATE: 2022-04-21
REVISION SCHEDULE

STREETSCAPE
ELEVATION

A503

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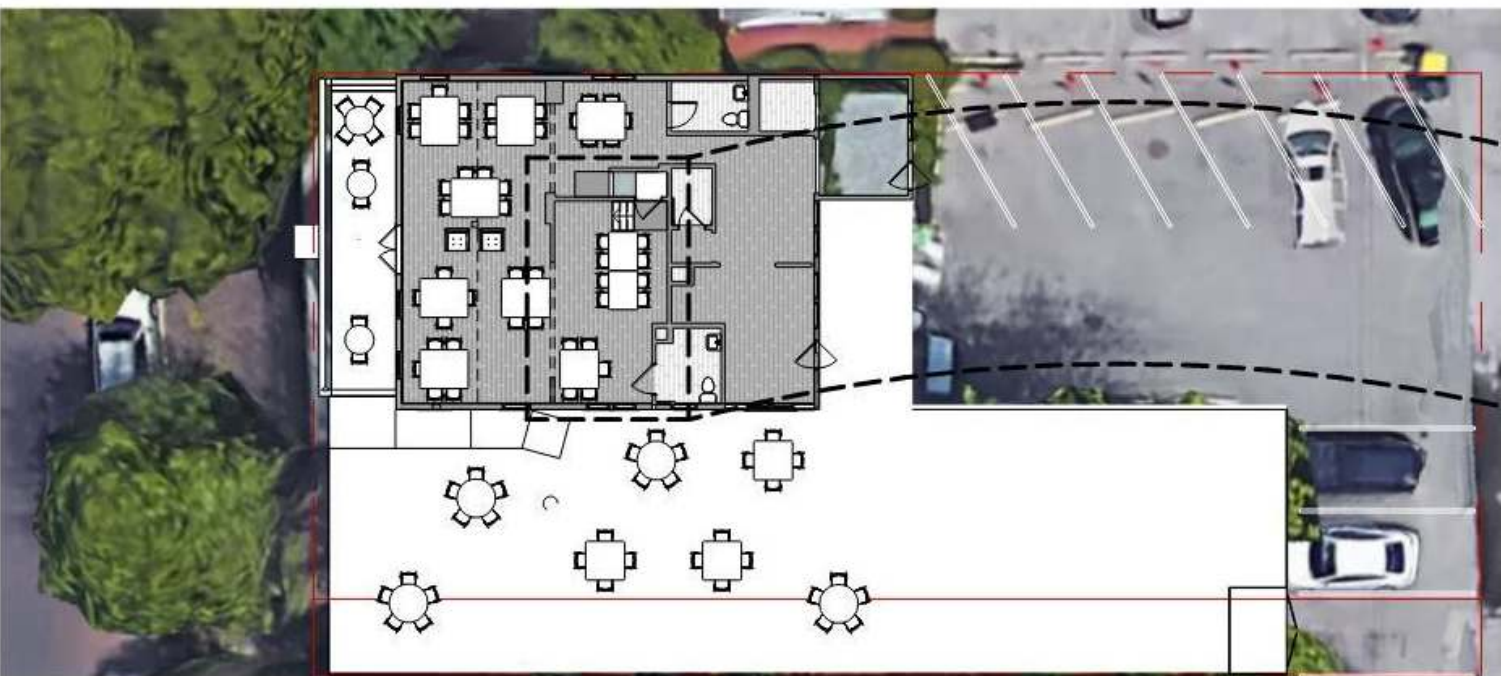
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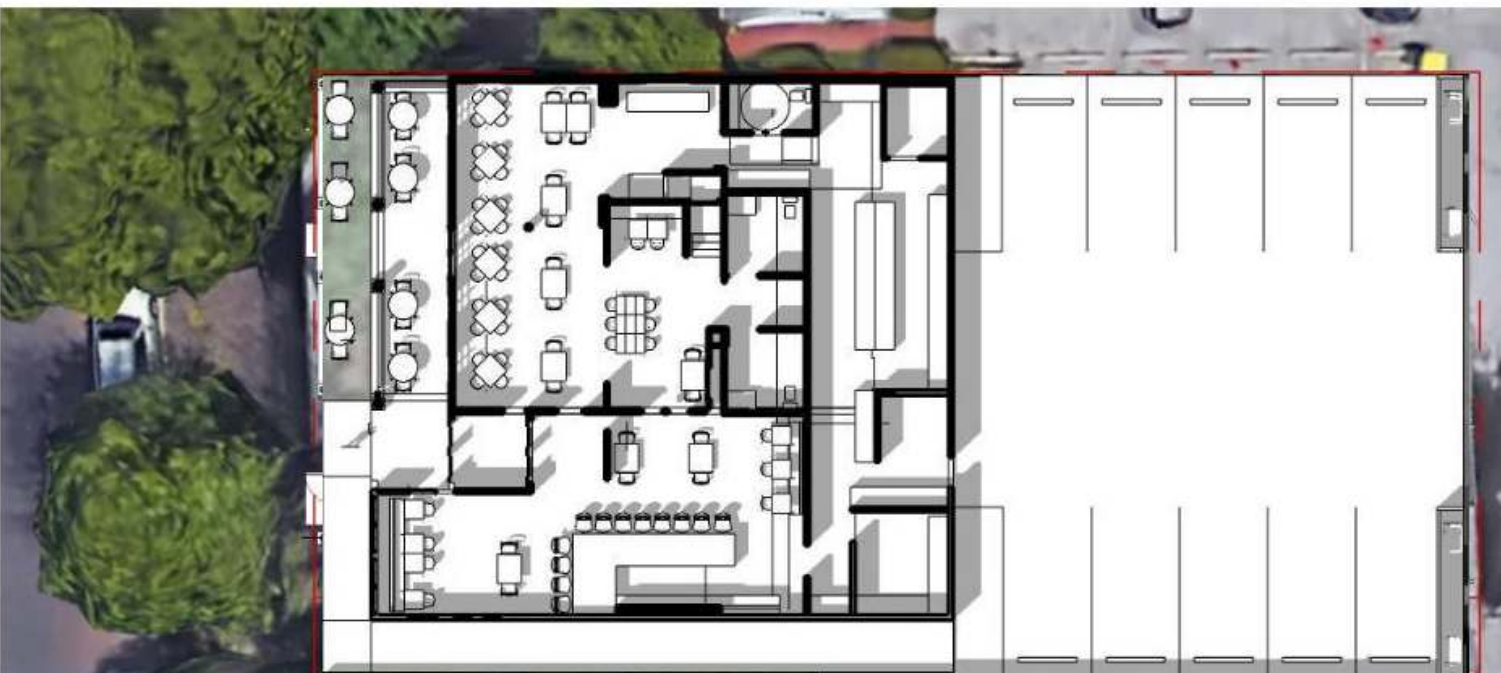
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ILLUSTRATION



SERENITY SEATING PLAN



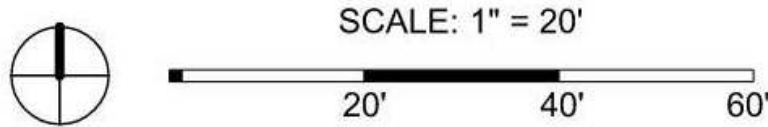
NEW SEATING PLAN

GUEST SEATING

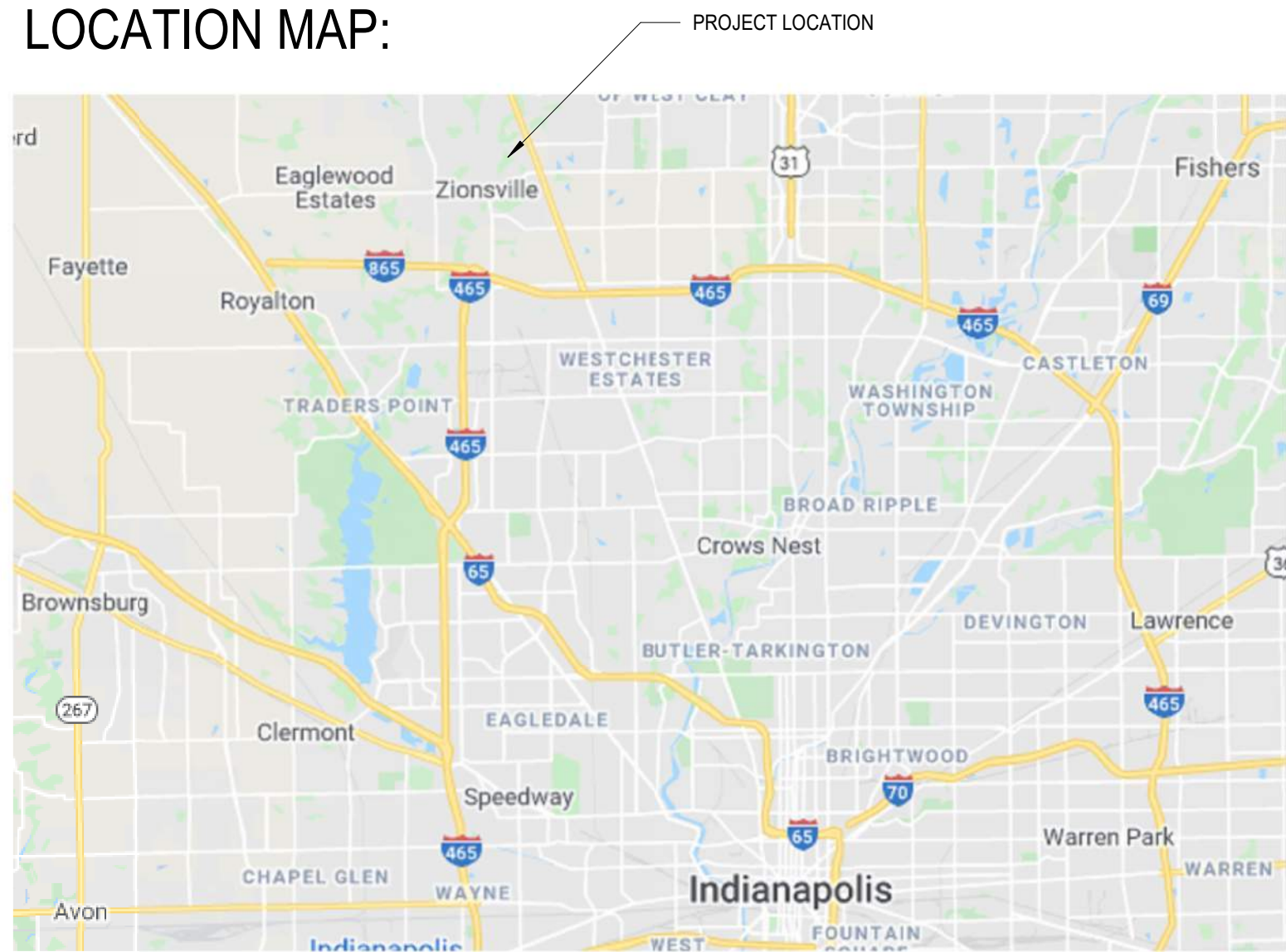
	EXISTING (FORMER)	PROPOSED
2 TOP SEATS		8
4 TOP SEATS		16
BANQUETTE SEATS		4
BOOTH SEATS		10
DINING SUBTOTAL	49	38
SECOND FLOOR	8	0
BAR SEATS		14
BAR AREA COUNTER		5
BAR SUBTOTAL	0	19

INDOOR SEATS TOTAL	57	78
OUTDOOR SEATS	40	14
TOTAL SEATS	97	92

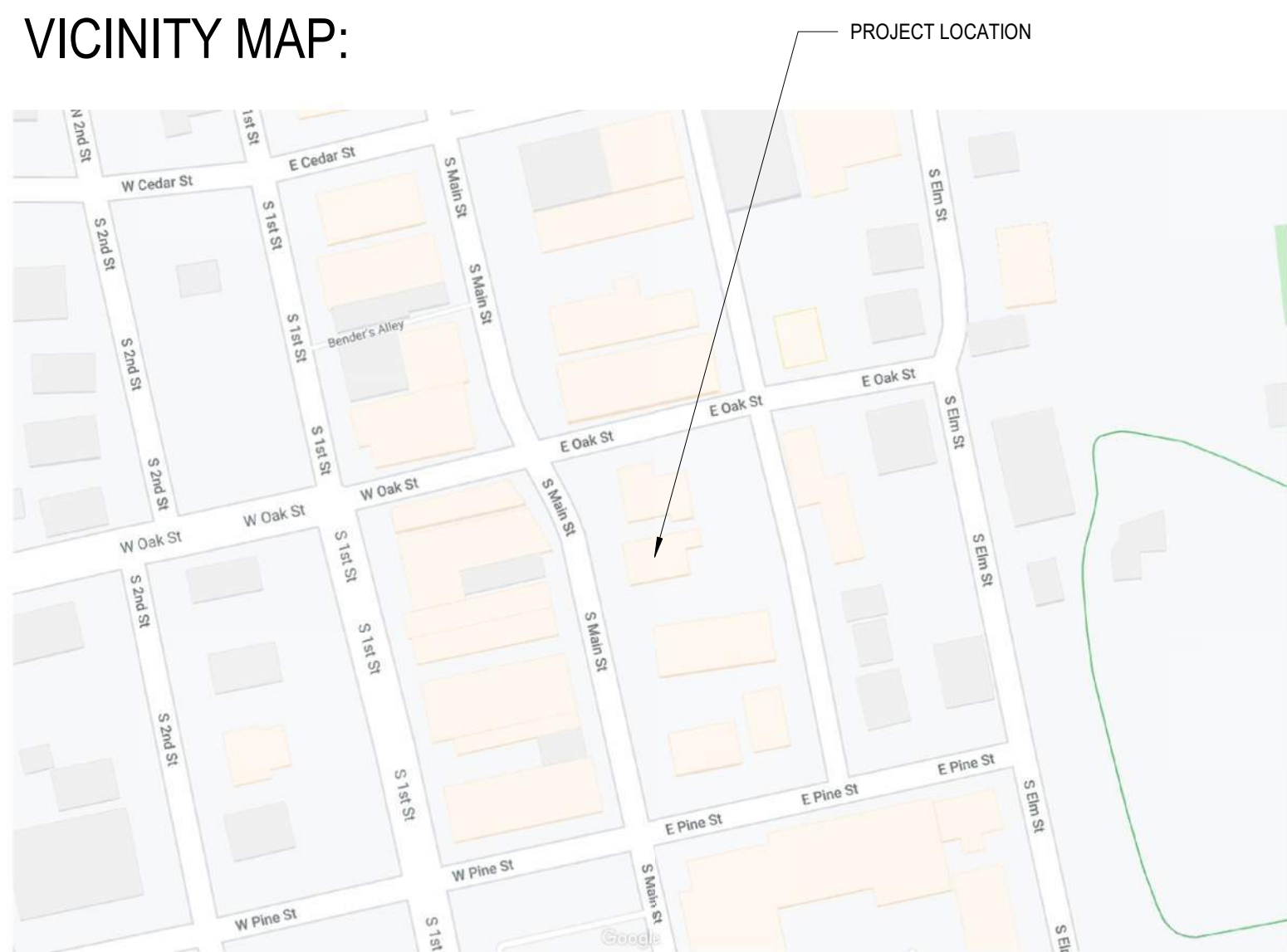
EXISTING AND PROPOSED SEATING



LOCATION MAP:



VICINITY MAP:



DRAWING INDEX

NUMBER	DRAWING NAME	2021-05-05 DEVELOPMENT PLAN/FILING	2021-05-20 DEVELOPMENT PLAN RESPONSE	2021-06-15 DEVELOPMENT PLAN RESPONSE	2021-06-24 FACADE UPDATES	2021-08-11 CONSTRUCTION DOCUMENTS	2021-08-11 REVISION 1	2021-09-10 BID SET
A009	ILLUSTRATIONS	●	●	●	●	●	●	●
A202	MEZZANINE PLAN							
A000	COVER SHEET	●	●	●	●	●	●	●
A001	GENERAL INFORMATION							
A003	EXISTING CONDITIONS							
A005	LIFE SAFETY PLAN		●	●	●	●	●	●
A006	EXTERIOR MATERIALS							
A007	NEIGHBORHOOD PRECEDENTS		●	●	●	●	●	●
C100	SITE PLAN							
L100	LANDSCAPE PLAN							
S001	STRUCTURAL GENERAL NOTES	●	●	●	●	●	●	●
S100	STRUCTURAL PLANS							
A100	DEMOLITION PLAN							
A200	FLOOR PLAN							
A201	LOWER LEVEL PLAN	●	●	●	●	●	●	●
A300	REFLECTED CEILING PLAN							
A400	ROOF PLAN	●	●	●	●	●	●	●
A500	ELEVATIONS							
A501	ELEVATIONS							
A502	INTERIOR ELEVATIONS							
A600	SECTION							
A601	SECTION							
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H101	HVAC DEMOLITION PLANS							
H200	HVAC BASEMENT PLAN							
H201	FIRST FLOOR HVAC PLAN							
H202	SECOND FLOOR AND ROOF HVAC PLAN							
H801	HVAC SCHEDULES AND DETAILS							
P001	PLUMBING SYMBOLS AND ABBREVIATIONS							
P100	PLUMBING DEMOLITION PLANS							
P200	PLUMBING PLANS							
P201	SECOND FLOOR AND ROOF PLUMBING PLANS							
P700	DOMESTIC WATER/NATURAL GAS RISER DIAGRAM							
P701	SANITARY RISER DIAGRAM							
P800	PLUMBING SCHEDULES							
P900	PLUMBING DETAILS							
E001	ELECTRICAL SYMBOLS AND ABBREVIATIONS							
E100	ELECTRICAL SITE PLAN	●	●	●	●	●	●	●
E101	ELECTRICAL							
E102	SITE LIGHTING PHOTOMETRIC PLAN							
E103	PROPOSED SITE LIGHTING FIXTURES							
E200	BASEMENT LIGHTING PLAN							
E201	FIRST FLOOR LIGHTING PLAN							
E202	SECOND FLOOR LIGHTING PLAN							
E300	BASEMENT POWER AND SYSTEMS PLAN							
E301	FIRST FLOOR POWER AND SYSTEMS PLAN							
E302	SECOND FLOOR POWER AND SYSTEMS PLAN							
E601	ELECTRICAL RISER DIAGRAM AND SCHEDULES							
E702	ELECTRICAL SCHEMATICS							

KEY: ● ISSUED FOR PERFORMING INDICATED
○ PRELIMINARY ISSUE FOR INFORMATION
BLANK - NOT ISSUED
⊗ REISSUED UNCHANGED

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ISSUE DATE:	2021-05-14
REVISION SCHEDULE	
1 REVISION	2021-08-11
2 BID SET	2021-09-10

COVER SHEET

A000

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ABBREVIATIONS:

A		J	
A/C	AIR CONDITIONING	JAN.	JANITOR
ACOUS.	ACOUSTICAL	J.C.	JANITOR CLOSET
A.C.T.	ACOUSTICAL CEILING TILE	JST. BRG.	JOIST BEARING
ACP.	ACOUSTICAL CEILING PANEL	JT.	JOINT
ADA	AMERICANS W/DISABILITIES ACT	L	
ADAAG	AMERICANS W/DISABILITIES ACT ACCESSIBILITY GUIDELINES	LAV.	LENGTH
ADJ.	ADJUSTABLE	LB.	LAVATORY
A/E	ARCHITECT/ENGINEER	L.H.	LEFT HAND
A.F.F.	ABOVE FINISHED FLOOR	L.L.H.	LONG LEG HORIZONTAL
ALT.	ALTERNATE	L.L.O.	LONG LEG OUT
ALUM.	ALUMINUM	L.L.V.	LONG LEG VERTICAL
A.P.	ACCESS PANEL	M	
ARCH.	ARCHITECT/ARCHITECTURAL	MAX.	MAXIMUM
A.V.	AUDIOVISUAL	MB.	MARKER BOARD
B		M.C.	MECHANICAL CONTRACTOR
BD.	BOARD	M.D.F.	FIBERBOARD
BITUM.	BITUMINOUS	MECH.	MECHANICAL
BLDG.	BUILDING	M.E.P.	MECH./ELECT./PLUMBING
B/O.	BOTTOM OF	MFR.	MANUFACTURER(ING)
B.O.W.	BOTTOM OF WALL	M.H.	MANHOLE
BSMT.	BASEMENT	MIN.	MINIMUM
C		MISC.	MISCELLANEOUS
C.B.	CABINET	M.O.	MASONRY OPENING
C.F.C.I.	CONTRACTOR FURNISHED-CONTRACTOR INSTALLED	MTL.	METAL
C.G.	CORNER GUARD	N	
C.I.P.	CAST-IN-PLACE	N.A.F.	NO APPLIED FINISH
C.J.	CONTROL JOINT	N.I.C.	NOT IN CONTRACT
CL.	CENTERLINE	NO.	NUMBER
CLG.	CEILING	N.T.S.	NOT TO SCALE
CLR.	CLEAR(ANCE)	O	
C.M.	CONSTRUCTION MANAGER	O.A.	OVER ALL
CMP.	COMPOSITE METAL PANEL	O.C.	ON CENTER
C.M.U.	CONCRETE MASONRY UNIT	O.D.	OUTSIDE DIAMETER
COL.	COLUMN	O.F.C.I.	OWNER FURNISHED-CONTRACTOR INSTALLED
CONC.	CONCRETE	O.F.O.I.	OWNER FURNISHED-OWNER INSTALLED
CONST.	CONSTRUCTION	O.H.	OPPOSITE HAND
CONT.	CONTINUOUS	OPG.	OPENING
CONTR.	CONTRACTOR	OPP.	OPPOSITE
COORD.	COORDINATE	P	
CPT.	CARPET	P.L.	PROPERTY LINE
C.T.	CERAMIC TILE	P.LAM	PLASTIC LAMINATE
C.W.	COLD WATER	PLAS.	PLASTER
D		PR.	PAIR
D.E.F.S.	DIRECT EXTERIOR FINISH SYSTEM	PREFAB.	PREFABRICATED
DEPT.	DEPARTMENT	PT. BD.	PARTICLE BOARD
DET.	DETAIL	PTD.	PAINTED
D.F.	DRINKING FOUNTAIN	PWD.	PLYWOOD
DIA.	DIAMETER	Q	
DIM.	DIMENSION	Q.T.	QUARRY TILE
DISP.	DISPENSER	R	
D.M.B.	DRY MARKER BOARD	R.	RADIUS
DN.	DOWN	R.C.P.	REFLECTED CEILING PLAN
DS.	DOWNSPOUT	R.D.	ROOF DRAIN
DWG.	DRAWING	REF.	REFERENCE
E		REFL.	REFLECTED
EA.	EACH	REINF.	REINFORCED
E.C.	ELECTRICAL CONTRACTOR	RESIL.	RESILIENT
E.I.F.S.	EXTERIOR INSULATION FINISH SYSTEM	R.H.	RIGHT HAND
E.J.	EXPANSION JOINT	RM.	ROOM
EL.	ELEVATION	R.O.	ROUGH OPENING
ELEC.	ELECTRIC/ELECTRICAL	S	
ELEV.	ELEVATOR/ELEVATION	SCHED.	SCHEDULE
ENGR.	ENGINEER	S.D.	SOAP DISPENSER
E.P.	ELECTRICAL PANEL	SECT.	SECTION
EQ.	EQUAL	S.F.	SQUARE FEET
EQUIP.	EQUIPMENT	SHT.	SHEET
E.W.C.	ELECTRIC WATER COOLER	SIM.	SIMILAR
EXIST.	EXISTING	SPEC.	SPECIFICATION
EXP.	EXPOSED	SQ.	SQUARE
EXT.	EXTERIOR	S.S.	STAINLESS STEEL
F		STD.	STANDARD
F-R.	FIRE-RESISTIVE	STL.	STEEL
FAB.	FABRICATE/FABRICATOR	STOR.	STORAGE
F.C.U.	FAN COIL UNIT	STRUCT.	STRUCTURAL
F.D.	FLOOR DRAIN	SUSP.	SUSPEND(ED)
F.E.	FIRE EXTINGUISHER	SYM.	SYMMETRICAL
F.E.C.	FIRE EXTINGUISHER CABINET	T	
F.F.E.	FINISH FLOOR ELEVATION	T.	THICKNESS
F.F.&E.	FURNISHINGS, FIXTURES AND EQUIPMENT	T.B.	TACK BOARD
F.H.C.	FIRE HOSE CABINET	TBD.	TO BE DETERMINED
FIN.	(FINISHED)	T.C.	TOP OF CURB
FLR.	FLOOR	T.D.	TOP OF DECK
FLUOR.	FLUORESCENT	TECH.	TECHNICAL
F.O.	FINISH OPENING	TEL.	TELEPHONE
F.O.B.	FACE OF BLOCK	TEMP.	TEMPORARY
F.O.BR.	FACE OF BRICK	T&G	TONGUE AND GROOVE
F.O.C.	FACE OF CONCRETE	T.M.	TOP OF MASONRY
F.O.F.	FACE OF FINISH	TMPRD.	TEMPERED
F.O.G.	FACE OF GYPSUM BD.	T/O	TOP OF
F.O.S.	FACE OF STUD	T.P.	TOP OF PAVEMENT
FFRF.	FIREPROOF	T.S.	TOP OF STEEL
FT.	FOOT/FEET	T.W.	TOP OF WALL
F.V.	FIELD VERIFY	TYP.	TYPICAL
G		U	
GA.	GAUGE	U.N.O.	UNLESS NOTED OTHERWISE
G.C.	GENERAL CONTRACTOR	UTIL.	UTILITY
GEN.	GENERAL	U.V.	UNIT VENTILATOR
GL.	GLASS	V	
G.W.B./GWB	GYPSUM WALL BOARD	V.C.T.	VINYL COMPOSITION TILE
H		VERT.	VERTICAL
H.	HEIGHT	VEST.	VESTIBULE
HB.	HOSE BIBB	VIF.	VERIFY IN FIELD
HDWR.	HARDWARE	W	
H.M.	HOLLOW METAL	W.	WIDE/WIDTH
HORIZ.	HORIZONTAL	W/C.	WITH
HT.	HEIGHT	W.D.	WOOD
HVAC.	HEATING, VENTILATION & A.C.	W.H.	WATER HEATER
H.W.	HOT WATER	WO.	WITHOUT
I		WT.	WEIGHT
ID.	INSIDE DIAMETER	W.W.F.	WELDED WIRE FABRIC
INFO.	INFORMATION	MISCELLANEOUS	
INSUL.	INSULATION	<	ANGLE
INT.	INTERIOR	C.	CENTER LINE
L		#	NUMBER

MATERIAL LEGEND:

WATERPROOF MEMBRANE		
EARTH	RIGID INSULATION	WOOD, FRAMING CONTINUOUS
SAND	PLYWOOD	WOOD SHIM
GRANULAR FILL	PARTICLE BOARD	FINISHED WOOD
CONCRETE	CONCRETE MASONRY	GYPSUM BOARD OR PLASTER

SYMBOLS LEGEND:

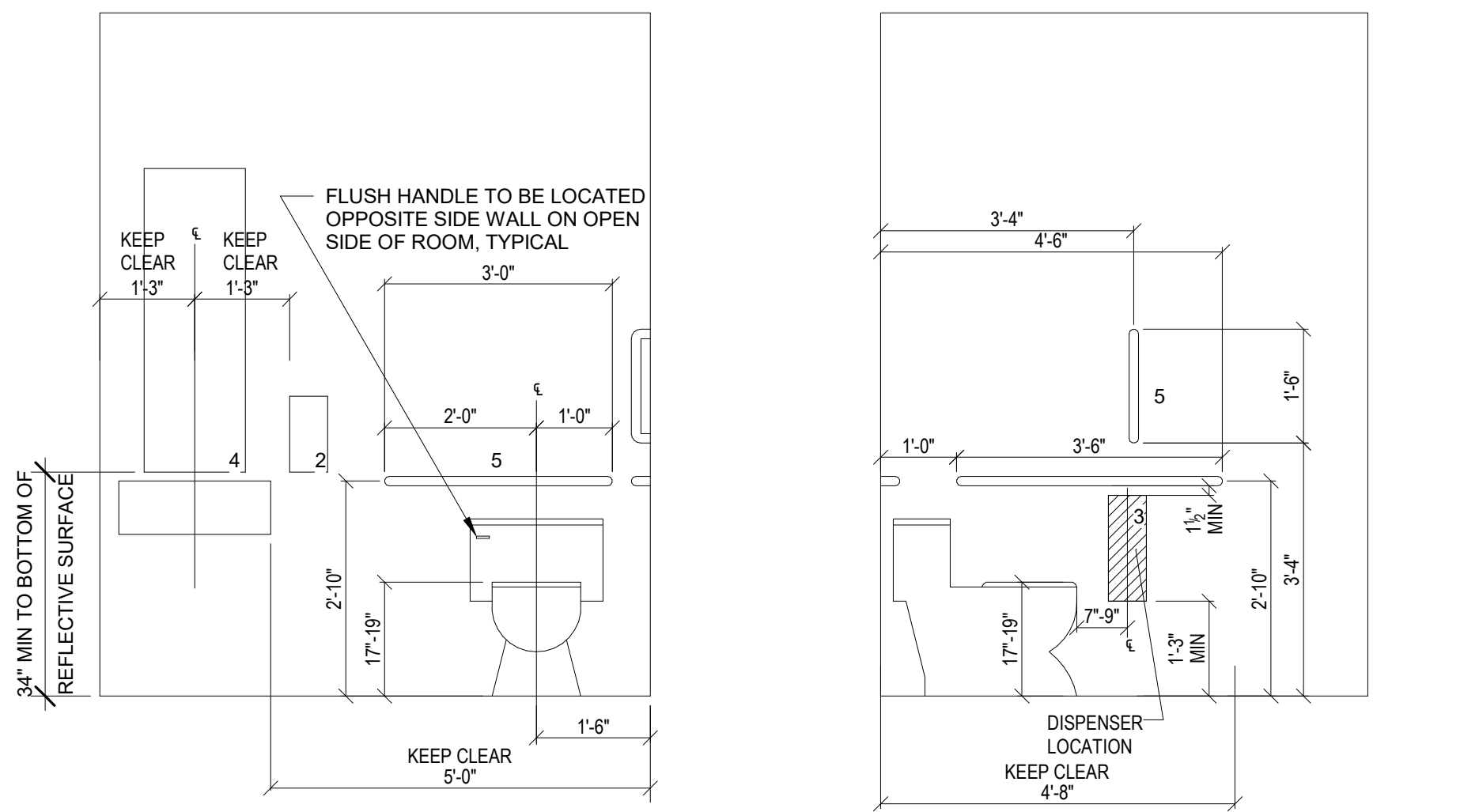
	SMOKE DETECTOR
	SPEAKER
	SECURITY CAMERA
	RECESSED LIGHT FIXTURE, DIRECTIONAL
	RECESSED LIGHT FIXTURE
	EXIT LIGHT FIXTURE
	SURFACE MOUNTED FLUORESCENT STRIP FIXTURE
	SUSPENDED LINEAR FLUORESCENT FIXTURE
	LAY-IN OR SURFACE MOUNT FLUORESCENT FIXTURE
	HVAC CEILING DIFFUSER
	HVAC LINEAR DIFFUSER
	HVAC CEILING RETURN OR EXHAUST
	HVAC DUCT DROP (TASK EXHAUST)
	ACOUSTIC PANEL CEILING GRID
	GYPSUM WALLBOARD CEILING FINISH

DRAWING REFERENCES:

SECTION CUT REFERENCE	
	DRAWING NUMBER
	SHEET NUMBER
ENLARGED DRAWING REFERENCE	
	DETAIL NUMBER
	SHEET NUMBER
INTERIOR ELEVATION REFERENCE	
	DRAWING NUMBER
	SHEET NUMBER
DETAIL REFERENCE	
	DRAWING NUMBER
	SHEET NUMBER
WINDOW TAG	
	COUNTERTOP TAG
	STOREFRONT TAG
	DEMOLITION NOTE TAG
	KEYNOTE TAG
	DOOR TAG
	WINDOW STOOL TAG
	GLASS TYPE TAG
	FINISH TAG
	ROOM TAG
	UL REQUIREMENT
	WALL TAG
	TOP CONDITION
	TYPE MODIFIER
	WALL TYPE

GENERAL NOTES

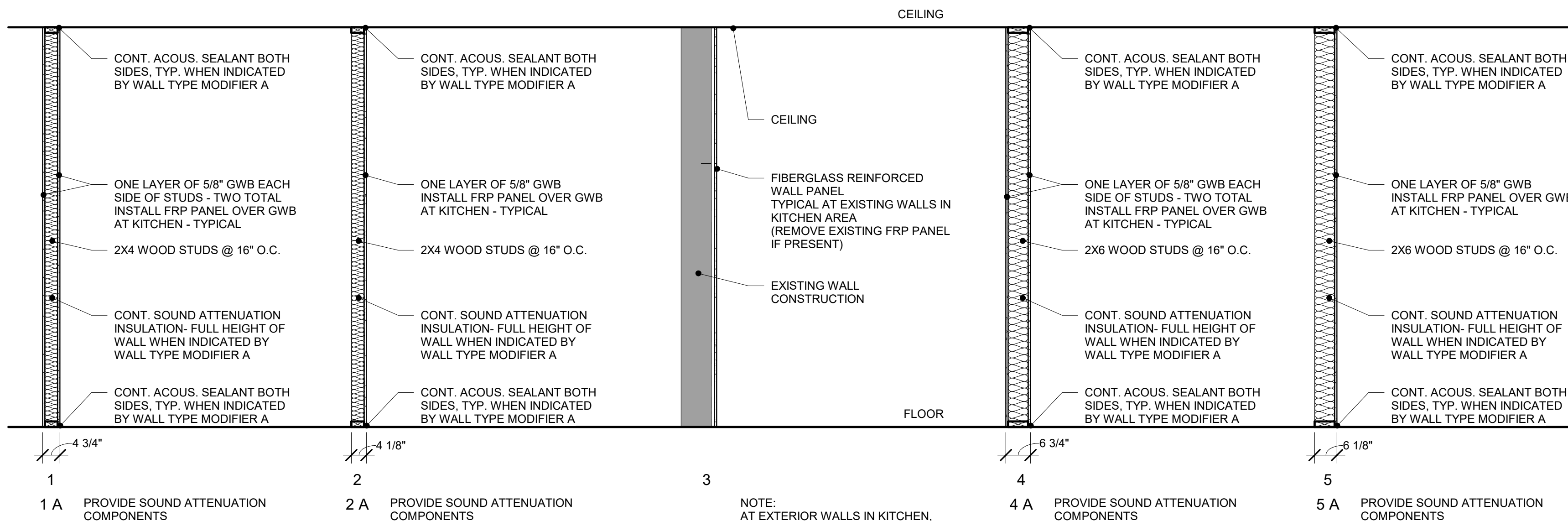
- THESE GENERAL NOTES APPLY TO ARCHITECTURAL DRAWINGS.
- DIMENSIONS TO NEW CONSTRUCTION ARE TO STRUCTURAL CENTERLINE, FACE OF CONCRETE OR MASONRY CONSTRUCTION, OR TO FACE OF FRAMING MEMBERS UNLESS NOTED OTHERWISE. FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO STARTING WORK AND NOTIFY ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE FOUND BETWEEN CONTRACT DOCUMENTS AND ACTUAL FIELD CONDITIONS.
- DO NOT SCALE DRAWINGS. REFER DIMENSION QUESTIONS TO ARCHITECT FOR INTERPRETATION.
- LOCATE INSIDE FACE OF DOOR FRAME JAMBS 6 INCHES FROM FINISH FACE OF ADJACENT WALLS UNLESS NOTED OTHERWISE.
- PROVIDE GWB ALONG INTERIOR SIDE OF EXTERIOR AND DEMISING WALLS. FINISH ALL GWB, INCLUDING THAT WHICH IS PROVIDED UNDER ANOTHER CONTRACT, TO THE LEVEL SPECIFIED ON THE INTERIOR DRAWINGS.
- COORDINATE EQUIPMENT WORK WITH MANUFACTURERS AND SUPPLIERS TO INSURE PROPER ROUGH-IN CLEARANCES FOR INSTALLATION, USE AND MAINTENANCE.
- VERIFY MOUNTING HEIGHTS OF ACCESSORIES, EQUIPMENT, DOOR HARDWARE, CASEWORK, ETC., AND PROVIDE SOLID BLOCKING BEHIND ITEMS REQUIRING ANCHORAGE. PROVIDE FIRE-TREATED WOOD BLOCKING OR METAL STRAPS BETWEEN FRAMING MEMBERS AS REQUIRED TO SUPPORT WEIGHT AND USE OF ITEMS TO BE SUPPORTED. WHERE MOUNTING HEIGHTS ARE NOT INDICATED, MOUNT ITEMS IN ACCORDANCE WITH RECOGNIZED INDUSTRY STANDARDS. COORDINATE LOCATIONS WITH MANUFACTURER OR SUPPLIER AND REFER MOUNTING HEIGHT QUESTIONS TO ARCHITECT FOR INTERPRETATION.
- PROVIDE SEALANT BETWEEN HOLLOW METAL FRAME PERIMETERS AND SURROUNDING WALL CONSTRUCTION UNLESS OTHERWISE INDICATED.
- PROVIDE SEALANT BETWEEN INTERIOR AND EXTERIOR WINDOW AND STOREFRONT FRAME PERIMETERS AND SURROUNDING CONSTRUCTION UNLESS OTHERWISE INDICATED.
- PROVIDE SEALANT BETWEEN DISSIMILAR MATERIALS SUCH AS GYPSUM BOARD AND MASONRY, MASONRY AND CONCRETE, COUNTERTOPS AND WALLS, ETC.
- DO NOT BEGIN WORK THAT MAY REQUIRE COORDINATION, SUCH AS CEILING INSTALLATION, PRIOR TO FINAL SUBMITTAL OF MECHANICAL AND ELECTRICAL COORDINATION DRAWINGS TO ARCHITECT NOR PRIOR TO RESOLUTION AND APPROVAL OF COORDINATION ISSUES.
- INSTALL FIRESTOPPING AT PENETRATIONS IN RATED CONSTRUCTION AND AT TOPS OF RATED WALLS.
- PROVIDE CONTROL JOINTS (C.J.) IN GYPSUM BOARD WALL CONSTRUCTION AS INDICATED. WHERE NOT SHOWN, PROVIDE MAXIMUM SPACING BETWEEN JOINTS OF 30'-0". VERIFY FINAL CONTROL JOINT LOCATIONS WHETHER OR NOT INDICATED ON THE DRAWINGS WITH ARCHITECT PRIOR TO STARTING WORK.
- WOOD OR METAL STUD SPACING SHALL BE 16" ON CENTER UNLESS NOTED OTHERWISE.
- PROVIDE WATER-RESISTANT GYPSUM BOARD ON WALLS WITH OPERABLE PLUMBING FIXTURES AND WITHIN 4'-0" OF DRINKING FOUNTAINS OR WATER COOLERS.
- PATCH, REPAIR, AND RESTORE EXISTING FINISHES AND SURFACES TO "AS NEW" APPROPRIATE SUBSTRATE PRIOR TO INSTALLING NEW FINISHES.
- PROTECT EXISTING SURFACES TO REMAIN THAT ARE NOT INCLUDED IN SCOPE OF WORK BUT ARE WITHIN AREAS OF CONSTRUCTION ACTIVITY.
- CONTRACTOR TO PROVIDE SUBMITTAL SHOP DRAWING OF ALL CASEWORK AND BUILT-IN FEATURES TO ARCHITECT/INTERIOR DESIGNER FOR REVIEW PRIOR TO FABRICATION.
- SAFETY GLAZING SHALL BE INSTALLED IN HAZARDOUS LOCATIONS IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE. THIS INCLUDES:
 - FIXED AND OPERABLE PANELS OF DOORS
 - GLAZING WITHIN 24-INCH ARC OF EITHER VERTICAL EDGE OF DOOR IN CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE
 - GLAZING IN WINDOWS THAT MEETS ALL OF THE FOLLOWING:
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET
 - BOTTOM EDGE OF GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR
 - TOP EDGE OF GLAZING GREATER THAN 36 INCHES ABOVE THE FLOOR
 - ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY FROM THE GLAZING
 - GLAZING IN GUARDS AND RAILINGS
 - GLAZING IN WET AREAS AS DEFINED LESS THAN 60 INCHES ABOVE WALKING SURFACE
 - GLAZING ADJACENT TO STAIRS AND RAMPS WHERE LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS
 - GLAZING ADJACENT TO THE LANDING AT BOTTOM OF STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD
- PROVIDE AND INSTALL ALL ACCESS PANELS, SIZED AS REQUIRED, FOR ALL MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS IN HARD SURFACE LOCATIONS. VERIFY/COORDINATE EXACT LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
- PROVIDE FINISH END PANELS, FILLERS, SUPPORTS, ETC. REQUIRED FOR A COMPLETE CABINERY INSTALLATION. PROVIDE CUTOOTS, ACCESS PANELS AND REMOVABLE COMPONENTS AS REQUIRED BY NEW OR EXISTING CONDITIONS SUCH AS ELECTRICAL, OUTLETS, JUNCTION BOXES, CLEANOUTS, ETC. MOUNT TOP OF WALL CABINETS AT 7'-0" A.F.F. UNLESS NOTED OTHERWISE.
- STRUCTURAL COORDINATION AND GENERAL NOTES:
 - COORDINATE AND CHECK ALL DIMENSIONS RELATING TO FINISHES, MECHANICAL, EQUIPMENT AND OPENINGS.
 - VERIFY THE REQUIREMENTS OF THE TRADES AS TO SLEEVES, CHASES, HANGERS, INSERTS, ANCHORS, HOLES AND OTHER ITEMS TO BE PLACED OR SET IN THE STRUCTURAL WORK.
 - THERE SHALL BE NO SLEEVES SET OR HOLES MADE IN ANY BEAM OR COLUMN UNLESS IT IS SHOWN ON THE DRAWINGS OR OTHERWISE APPROVED IN WRITING.
 - DO NOT INSTALL CONDUIT IN SLABS ON GRADE OR CONCRETE WALLS UNLESS EXPLICITLY SHOWN OR NOTED ON THE DRAWINGS.
 - ALL MECHANICAL UNIT OR EQUIPMENT SUPPORTED BY THE STRUCTURE NOT SHOWN ON THE DRAWINGS, WHOSE WEIGHT IS GREATER THAN 500 LBS. SHALL BE VERIFIED IN WRITING PRIOR TO INSTALLATION.
 - COMPLY WITH ALL APPLICABLE SAFETY PRECAUTIONS AND REGULATIONS.
 - THE DRAWINGS REPRESENT THE FINISHED STRUCTURE. PROVIDE TEMPORARY GUYING AND BRACING REQUIRED TO ERECT AND HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL ALL STRUCTURAL WORK AND CONNECTIONS HAVE BEEN COMPLETED. THE INVESTIGATION, DESIGN, SAFETY, ADEQUANCY AND INSPECTION OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SUPERVISION, METHODS, TECHNIQUES AND SEQUENCES OF PROCEDURES TO PERFORM THE WORK.
 - DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO APPROVAL.
 - ALL STRUCTURAL SYSTEMS WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTIONS IN ACCORDANCE WITH THE SUPPLIER'S INSTRUCTION AND REQUIREMENTS.
 - LOADING APPLIED TO THE STRUCTURE DURING THE PROCESS OF CONSTRUCTION SHALL NOT EXCEED THE SAFE LOAD-CARRYING CAPACITY OF THE STRUCTURAL MEMBERS. THE LIVE LOADING USED IN THE DESIGN OF THIS STRUCTURE IS INDICATED IN THE DESIGN CRITERIA NOTES. DO NOT APPLY ANY CONSTRUCTION LOADS UNTIL STRUCTURAL FRAMING IS PROPERLY CONNECTED TOGETHER AND UNTIL ALL TEMPORARY BRACING IS IN PLACE.



- ALL RESTROOMS TO RECEIVE THE FOLLOWING:
- TOILET PAPER DISPENSER
 - SOAP DISPENSER
 - PAPER TOWEL DISPENSER
 - MIRROR (REFER TO TOILET ACCESSORIES SCHEDULE)
 - GRAB BARS, SIZE AND CONFIGURATION AS SHOWN

TYPICAL RESTROOM LAYOUT

ORIGINAL SCALE PRINTED @ 30X42 IS 1/2" = 1'-0"



PARTITION GENERAL NOTES

- WALL TYPE 1 TYPICAL UNLESS NOTED OTHERWISE.
- PROVIDE WATER RESISTANT GWB IN ALL ROOMS CONTAINING OPERABLE PLUMBING FIXTURES AND WITHIN 4 FEET OF DRINKING FOUNTAINS/WATER COOLERS, U.N.O.
- PROVIDE LATERAL BRACING FOR PARTITIONS WHICH EXTEND ABOVE CEILING.
- PROVIDE TILE BACKER BOARD AT ANY WALLS TO RECEIVE WALL TILE OR TILE BASE.
- PROVIDE FRP PANEL OVER ALL DRYWALL PARTITIONS (EXISTING AND NEW) IN KITCHEN AREA

WALL TYPES

ORIGINAL SCALE PRINTED @ 30X42 IS NOT TO SCALE



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GENERAL
INFORMATION

A001

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ARCHITECTURAL SPECIFICATIONS

0 SCOPE OF PROJECT

1 GENERAL REQUIREMENTS

2 SITEWORK

3 CONCRETE

1.

CONCRETE:

REFER TO DRAWING S1.0 STRUCTURAL GENERAL NOTES, FOUNDATION NOTES, CONCRETE REINFORCING NOTES AND CONCRETE NOTES.
2.

CONCRETE COATING:

MASTERSEAL 553 (THOROSEAL) FOR EXPOSED EXTERIOR CONCRETE FOUNDATION WALLS.

4 MASONRY

NOT APPLICABLE

5 STEEL & METAL FABRICATIONS

1.

STRUCTURAL STEEL:

REFER TO DRAWING S1.0 STRUCTURAL GENERAL NOTES, STEEL NOTES.
2.

METAL FABRICATIONS:

COMPLY WITH THE FOLLOWING STANDARDS:

STEEL SECTIONS: ASTM A36

STEEL TUBING: ASTM A501

PLATES: ASTM A283

PIPE: ASTM A53

FIT AND SHOP ASSEMBLE ITEMS IN LARGEST PRACTICAL SECTIONS, FOR DELIVERY TO SITE.

FABRICATE ITEMS WITH JOINTS TIGHTLY FITTED AND SECURED.

GRIND EXPOSED JOINTS FLUSH AND SMOOTH WITH ADJACENT FINISH SURFACE. MAKE EXPOSED JOINTS BUTT TIGHT, FLUSH AND HAIRLINE.

EASE EXPOSED EDGES TO SMALL, UNIFORM RADII.

SHOP DRAWINGS: INDICATE PROFILES, SIZES, CONNECTION ATTACHMENTS, ANCHORAGES, TYPES OF FASTENERS AND ACCESSORIES.
3.

SUBMITTALS:

STEEL PIPE, CONCRETE FILLED, CROWN CAP, PRIME PAINT FINISH.
4.

BOLLARDS:

STEEL MEMBERS AS INDICATED ON DRAWINGS, PRIME PAINT FINISH, HAND RAILS AND GUARDS SHALL RESIST A LINEAR LOAD OF 50 POUNDS PER LINEAL FOOT AND CONCENTRATED LOAD OF 200 POUNDS PER FOOT.
5.

RAILINGS:

6 CARPENTRY

1.

EXTERIOR STUDS:

REFER TO DRAWING S1.0 STRUCTURAL GENERAL NOTES, WOOD FRAMING NOTES.
2.

INTERIOR STUDS:

REFER TO DRAWING S1.0 STRUCTURAL GENERAL NOTES, WOOD FRAMING NOTES.
3.

BLOCKING:

2X REQUIRED WIDTH SP NO. 2, FURNISH AND INSTALL BLOCKING IN ALL WALL CAVITIES WHERE NEEDED TO SUPPORT DOOR HARDWARE, ACCESSORIES AND OTHER ITEMS NECESSARY FOR SECURE ATTACHMENT.
4.

NAILING & BLOCKING:

TO MEET APPLICABLE BUILDING CODE REQUIREMENTS
5.

WALL SHEATHING:

INFILL TO MATCH EXISTING AT RENOVATED EXTERIOR WALLS. AT NEW EXTERIOR WALLS, INSTALL HUBER ENGINEERED WOODS ZIP SYSTEM INSULATED SHEATHING SYSTEM INCLUDING MANUFACTURER'S TAPE AND ACCESSORIES.
7.

AIR BARRIER:

INTEGRAL TO WALL PANEL SHEATHING SYSTEM.
8.

FLASHING:

W.R. GRACE ICE AND WATER SHIELD OR EQUIVALENT PEEL AND STICK (AT WINDOW AND DOOR HEADS)
9.

LAP SIDING:

TRU EXTERIOR COMPOSITE SHIPLAP SIDING.
10.

EXTERIOR TRIM:

JAMES HARDIE SMOOTH FACE CEMENT BOARD, SIZE AND SHAPE AS INDICATED.
11.

FIRE BLOCKING:

2X WALL THICKNESS AT ALL VERTICAL STUD CAVITIES AS REQUIRED BY BUILDING CODE REQUIREMENTS.

7 INSULATION, ROOFING & SEALANTS

1.

INSULATION SCHEDULE:

a.

EXTERIOR WALLS:

FIBERGLASS BATT INSULATION R-19

b.

INTERIOR WALLS:

SOUND ATTENUATION BATTS WHERE INDICATED.

c.

ACCEPTABLE MANUFACTURERS:

i.

CERTAINTEED CORPORATION

ii.

JOHNS MANVILLE

iii.

OWENS CORNING

2.

ASPHALT SHINGLES

a.

ASPHALT COATED GLASS FELT, MINERAL GRANULE SURFACED, COMPLYING WITH ASTM D3462/D3462M, CLASS A, SELF-SEALING TYPE.

b.

MANUFACTURER:

GAF, TIMBERLINE

3.

THERMOPLASTIC MEMBRANE ROOFING

a.

ONE PLY, 45 MIL, FULLY ADHERED, OVER POLYISOCYANURATE RIGID INSULATION R-5 PER INCH

b.

COLOR:

WHITE

c.

SEAMING MATERIALS AND FLASHING AS RECOMMENDED BY MANUFACTURER.

d.

ACCEPTABLE MANUFACTURERS:

i.

CARLISLE ROOFING SYSTEMS

ii.

FIRESTONE BUILDING PRODUCTS

iii.

GAF

iv.

JOHNS MANVILLE

4.

METAL FLASHING AND TRIM:

a.

MINIMUM THICKNESS: .032" ALUMINUM WITH FACTORY PAINTED KYNAR FINISH. COLOR AS SELECTED FROM MANUFACTURER'S STANDARD RANGE

b.

DETAIL AND APPLY USING CLIPS AND CONCEALED FASTENERS.

c.

EXPOSED FASTENERS SHALL NOT BE PERMITTED

5.

SEALANT:

a.

NON-SAG SEALANTS ON VERTICAL SURFACES WITHOUT SAGGING OR SLUMPING.

b.

SELF-LEVELING SEALANTS ON HORIZONTAL SURFACES.

c.

ACCEPTABLE MANUFACTURERS:

i.

DOW

ii.

PECORA

iii.

TREMCO

d.

PLACE SEALANT AT ALL JOINTS BETWEEN DISSIMILAR MATERIALS, CONTROL JOINTS, OR OTHER AREAS SUBJECT TO MOISTURE PENETRATION.

e.

SEALANT SHALL BE COMPATIBLE WITH THE MATERIAL ON WHICH IT IS USED, INSTALL IN STRICT ACCORDANCE WITH THE SEALANT MANUFACTURER'S RECOMMENDATIONS.

f.

COLORS SHALL BE SELECTED BY THE ARCHITECT FROM THE MANUFACTURER'S FULL RANGE OF CHOICES.

6.

GUTTERS AND DOWNSPOUTS:

a.

24 GAUGE PREFINISHED GALVANIZED STEEL HALF ROUND GUTTER, CIRCULAR DOWNSPOUT.

b.

COLOR:

WHITE

c.

MANUFACTURER:

COATED METALS GROUP OR EQUIVALENT

8 DOORS, HARDWARE & WINDOWS

1.

HOLLOW METAL DOORS AND FRAMES:

a.

HOLLOW METAL DOOR FACE: 20 GAUGE WITH GALVANNEALED ZINC COATING, FLUSH FACE, 1-3/4 INCH THICKNESS, INSULATED CORE AT EXTERIOR LOCATIONS, R-6 CORE

b.

HOLLOW METAL FRAME: 18 GAUGE, KNOCK DOWN TYPE

c.

FINISH: FACTORY PRIMED, FIELD FINISHED.

d.

ACCEPTABLE MANUFACTURERS:

i.

CECO

ii.

CURRIES

iii.

REPUBLIC

iv.

STEELCRAFT

2.

FLUSH WOOD DOORS:

a.

SOLID PARTICLEBOARD CORE DOOR, 1-3/4 INCH THICKNESS, PREFINISHED WOOD VENEER FACE

b.

ACCEPTABLE MANUFACTURERS:

i.

MASONITE ARCHITECTURAL

ii.

VT INDUSTRIES

3.

KITCHEN DOUBLE-ACTING DOORS:

a.

ALUMINUM DOOR WITH CIRCULAR CLEAR WINDOW

b.

FINISH: CLEAR ANODIZED

c.

HINGE: MANUFACTURER'S HINGE SYSTEM

d.

MANUFACTURER: ELIASON CORPORATION

4.

ALUMINUM-FRAMED STOREFRONT:

a.

KAWNEER TRI FAB T451 ALUMINUM GLAZED FRAMING SYSTEM (OR SIMILAR PRODUCT BY YKK OR OTHERS)

b.

THERMALLY BROKEN FRAME

c.

FINISH: WHITE (KAWNEER PERMAFLUOR BONE WHITE)

d.

GLAZING: OLDCASTLE OR EQUIVALENT:

i.

ONE INCH (1") CLEAR INSULATING GLASS WITH LOW E COATING

ii.

SHGC: 0.27 (0.40 MAX. ASSEMBLY)

iii.

U VALUE (SUMMER/WINTER): 0.26 / 0.28 (0.45 MAX ASSEMBLY)

iv.

SAFETY GLASS WITHIN 18 INCHES OF THE FLOOR OR 18 INCHES OF DOOR JAMB, OTHER AREAS REQUIRED BY CODE OR GLASS STRUCTURAL REQUIREMENT

e.

SEALANT: AT PERIMETER OF ALL OPENINGS, STANDARD COLOR TO NEAREST MATCH ALUMINUM FINISH

2.

EXTERIOR DOORS:

a.

ALUMINUM, MEDIUM STYLE DOORS TO MATCH GLAZED ALUMINUM FRAMING SYSTEM

b.

ALL DOORS AND HARDWARE SHALL MEET ADA SPECIFICATIONS

c.

HARDWARE: BY STOREFRONT PROVIDER

i.

BUTTS (4): US 32D FINISH

ii.

CLOSURE WITH OVERHEAD STOP, FINISH TO MATCH DOOR AS CLOSELY AS POSSIBLE

iii.

1" DIAMETER TUBULAR PUSH PULL, US 32D FINISH

iv.

DEADLOCK WITH INTERIOR THUMB TURN AND EXTERIOR KEY OPERATION

v.

WEATHERSTRIPPING

vi.

THRESHOLD, ALUMINUM

vii.

FLOOR STOP

viii.

SIGN: "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS"

3.

FLUSH INTERIOR DOORS:

a.

MANUFACTURER AND FINISH TO MATCH EXISTING INTERIOR DOORS AND FRAMES

b.

FLUSH ELEVATION

4.

DOOR HARDWARE:

a.

REFER TO HARDWARE SCHEDULE ON THE DRAWINGS

b.

PRODUCTS:

ITEM	MANUFACTURER
BUTTS	HAGER, MCKINNEY
LOCKSET	BEST
EXIT DEVICE	VON DUPRIN
DEADBOLT	BEST
STOPS	MCKINNEY
CLOSER	LCN
WEATHERSTRIP	NATIONAL GUARD
KICKPLATES	ROCKWOOD
SLIDING TRACK	JOHNSON

5.

SKYLIGHTS:

a.

FIXED WITH INTEGRAL CURB

b.

MANUFACTURER: VELUX

9 FINISHES

1.

GYPSUM BOARD:

a.

5/8" THICK GYPSUM WALL BOARD ON ALL INTERIOR WALL AND CEILING SURFACES WHERE NOTED, USE WATER RESISTANT GYPSUM WALL BOARD AT ALL WET LOCATIONS.

b.

TYPICAL LEVEL 4 FINISH: LEVEL 5 FINISH ON WALLS AND CEILINGS PERPENDICULAR TO WINDOWS

c.

ZINC FINISHED MOLDINGS AND TRIMS.

2.

CEILINGS:

a.

2X2 ACT ARMSTRONG FINE FISSURED SQUARE LAY-IN IN 15/16 GRID

3.

PAINTING:

a.

EXTERIOR PAINTED SIDING AND TRM: SAND JOINTS AND IMPERFECTIONS AS NEEDED. FILL NAIL HOLES AND APPLY ONE COAT PRIMER AND TWO FINISH COATS LOW LUSTER ACRYLIC.

10 SPECIALTIES

1.

BATH ACCESSORIES:

a.

FURNISH AND INSTALL CONTINUOUS WALL BLOCKING AND ACCESSORIES FOR EACH RESTROOM AS INDICATED IN THE DRAWINGS.

b.

SATIN STAINLESS STEEL FINISH WITH CONCEALED FASTENERS

c.

MANUFACTURED BY BRADLEY OR EQUIVALENT

d.

ALL ACCESSORIES SHALL BE ADA COMPLIANT

e.

ACCESSORIES INCLUDE (EACH RESTROOM):

i.

GRAB BARS (3)

ii.

TOILET PAPER HOLDER

iii.

MIRROR: 36 INCH TALL X VANITY WIDTH

iv.

PAPER TOWEL DISPENSER

v.

SOAP DISPENSER



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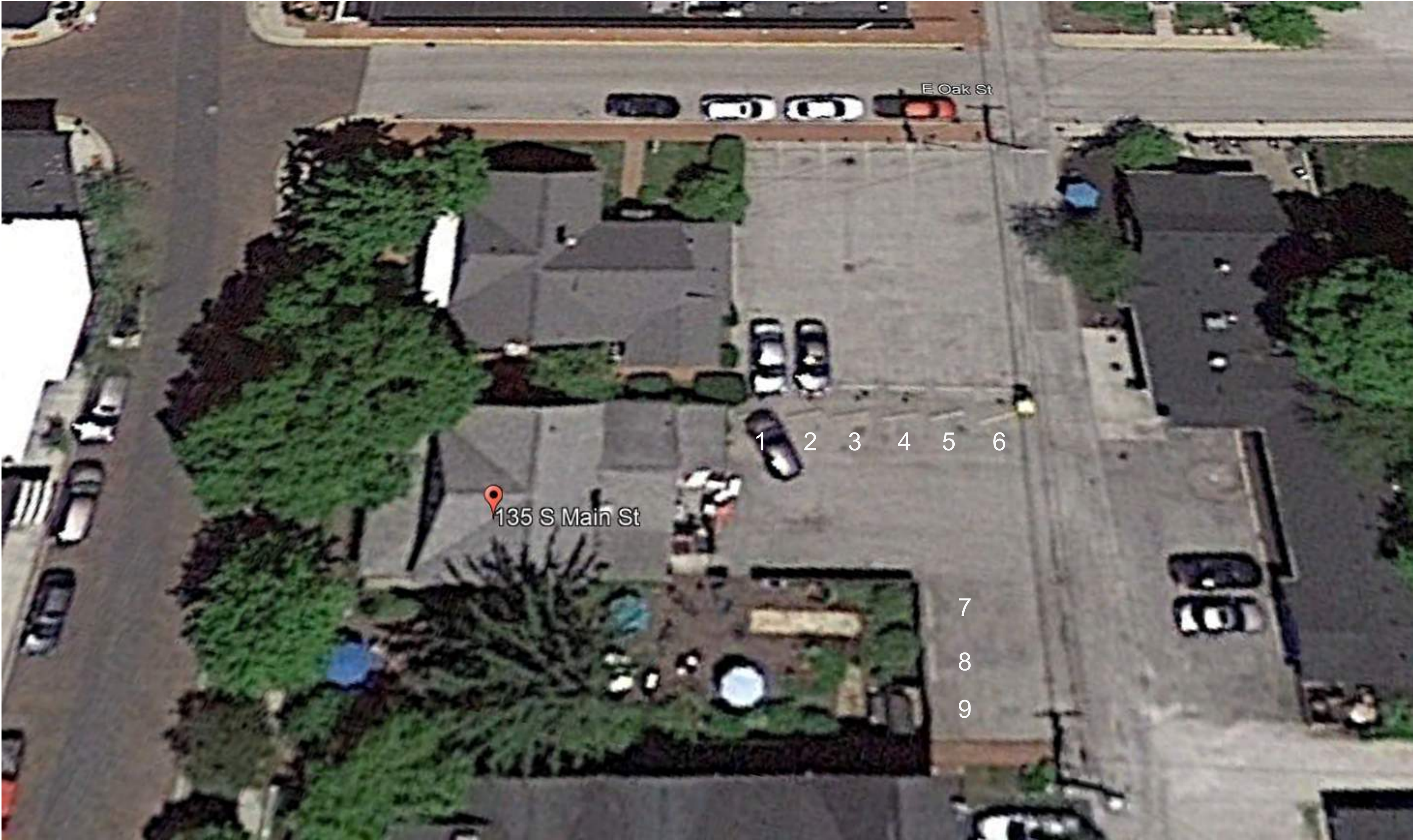
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SPECIFICATIONS

A002

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4
A003

EXISTING VIEW - AERIAL

ORIGINAL SCALE PRINTED @ 30X42 IS NOT TO SCALE



3
A003

EXISTING VIEW - SOUTH

ORIGINAL SCALE PRINTED @ 30X42 IS NOT TO SCALE



2
A003

EXISTING VIEW - ALLEY

ORIGINAL SCALE PRINTED @ 30X42 IS NOT TO SCALE



1
A003

EXISTING VIEW - MAIN STREET

ORIGINAL SCALE PRINTED @ 30X42 IS NOT TO SCALE



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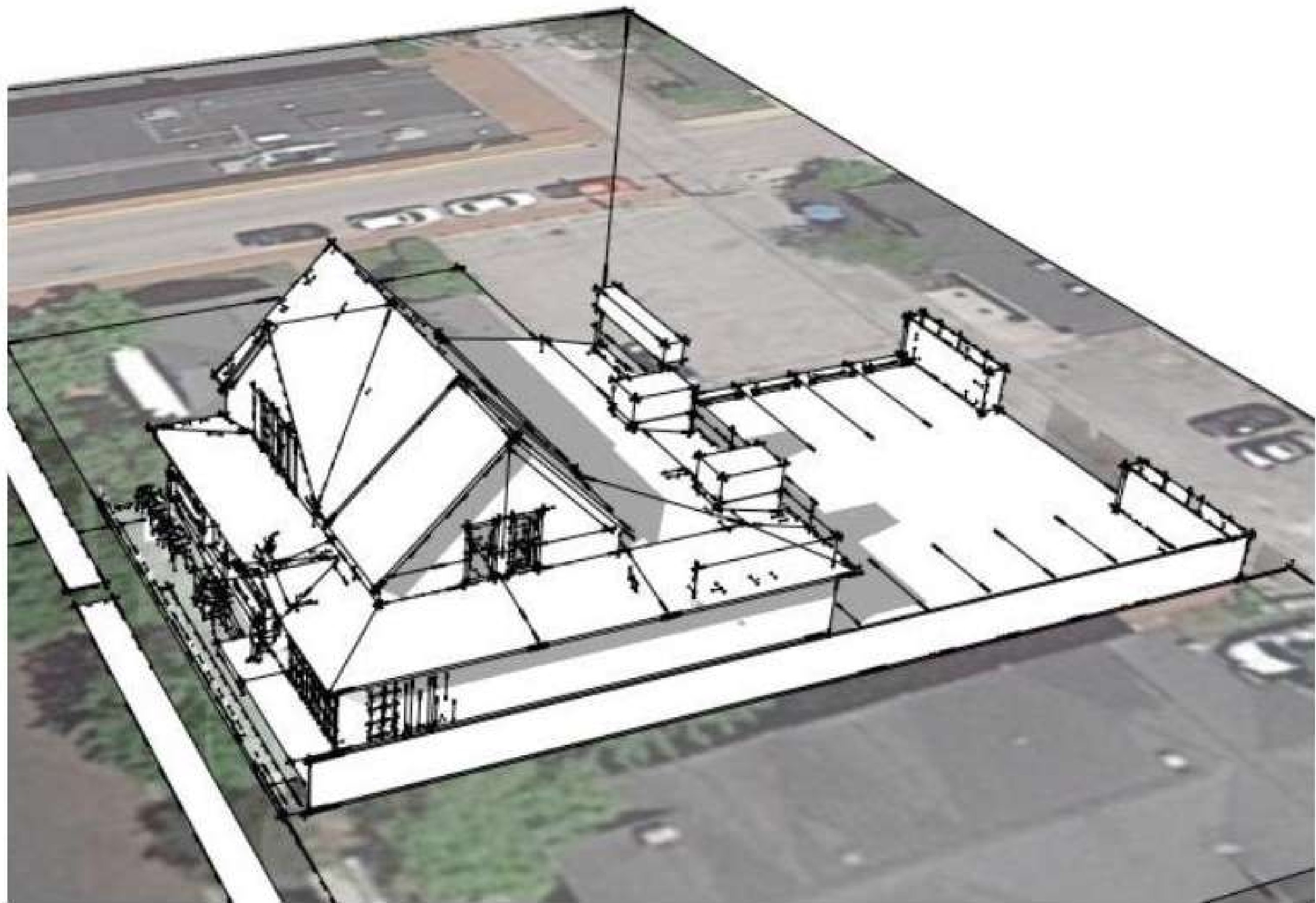
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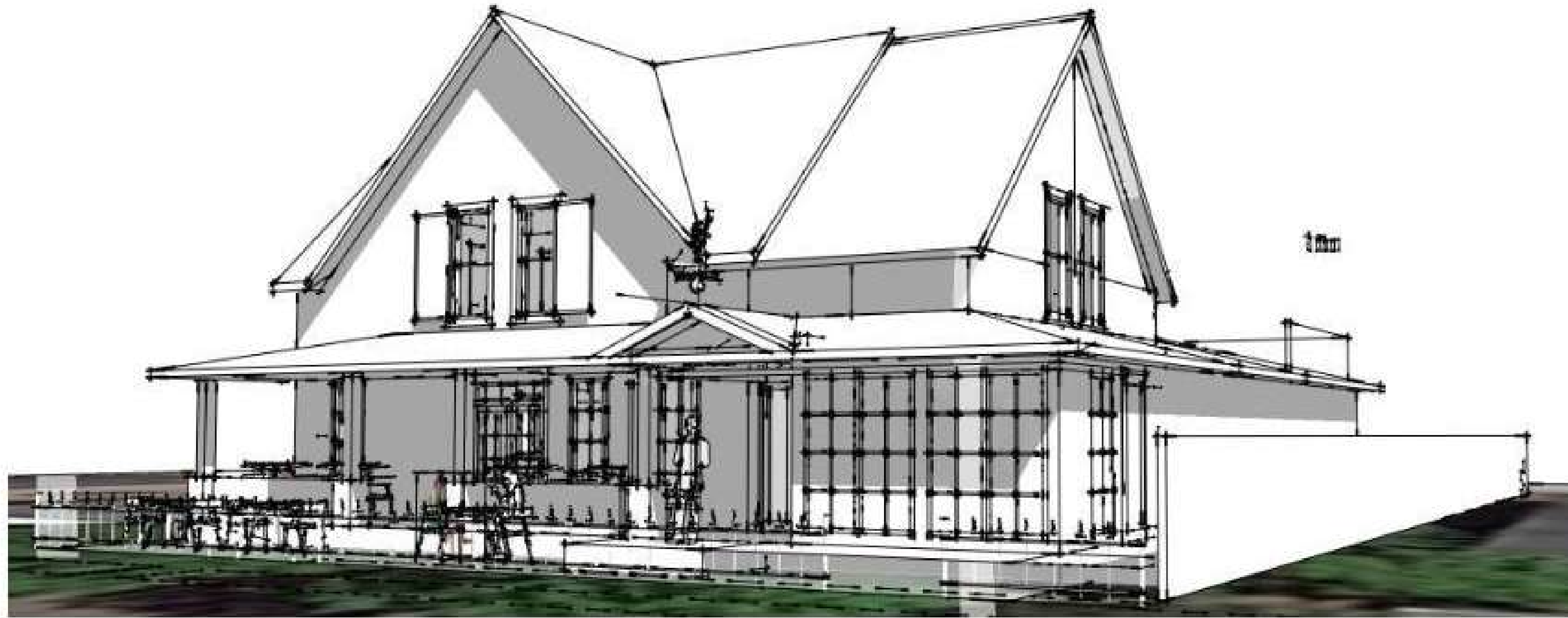
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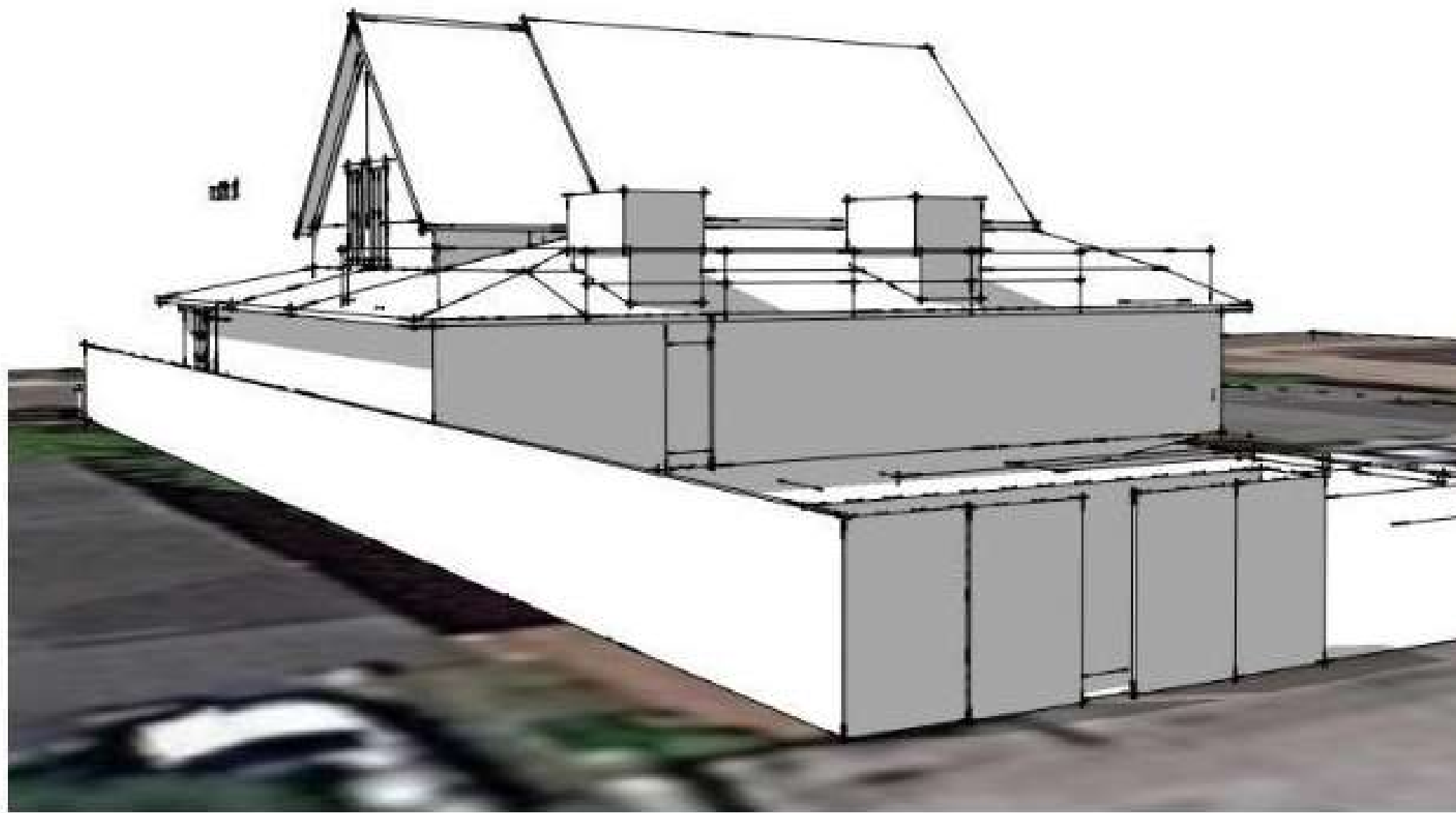
4
A003
PROPOSED VIEW AERIAL

ORIGINAL SCALE PRINTED @ 30X42 IS NOT TO SCALE



3
A003
PROPOSED VIEW SOUTHWEST

ORIGINAL SCALE PRINTED @ 30X42 IS NOT TO SCALE



2
A003
PROPOSED VIEW ALLEY

ORIGINAL SCALE PRINTED @ 30X42 IS NOT TO SCALE



1
A003
PROPOSED VIEW MAIN STREET

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PROPOSED
VIEWS

A004

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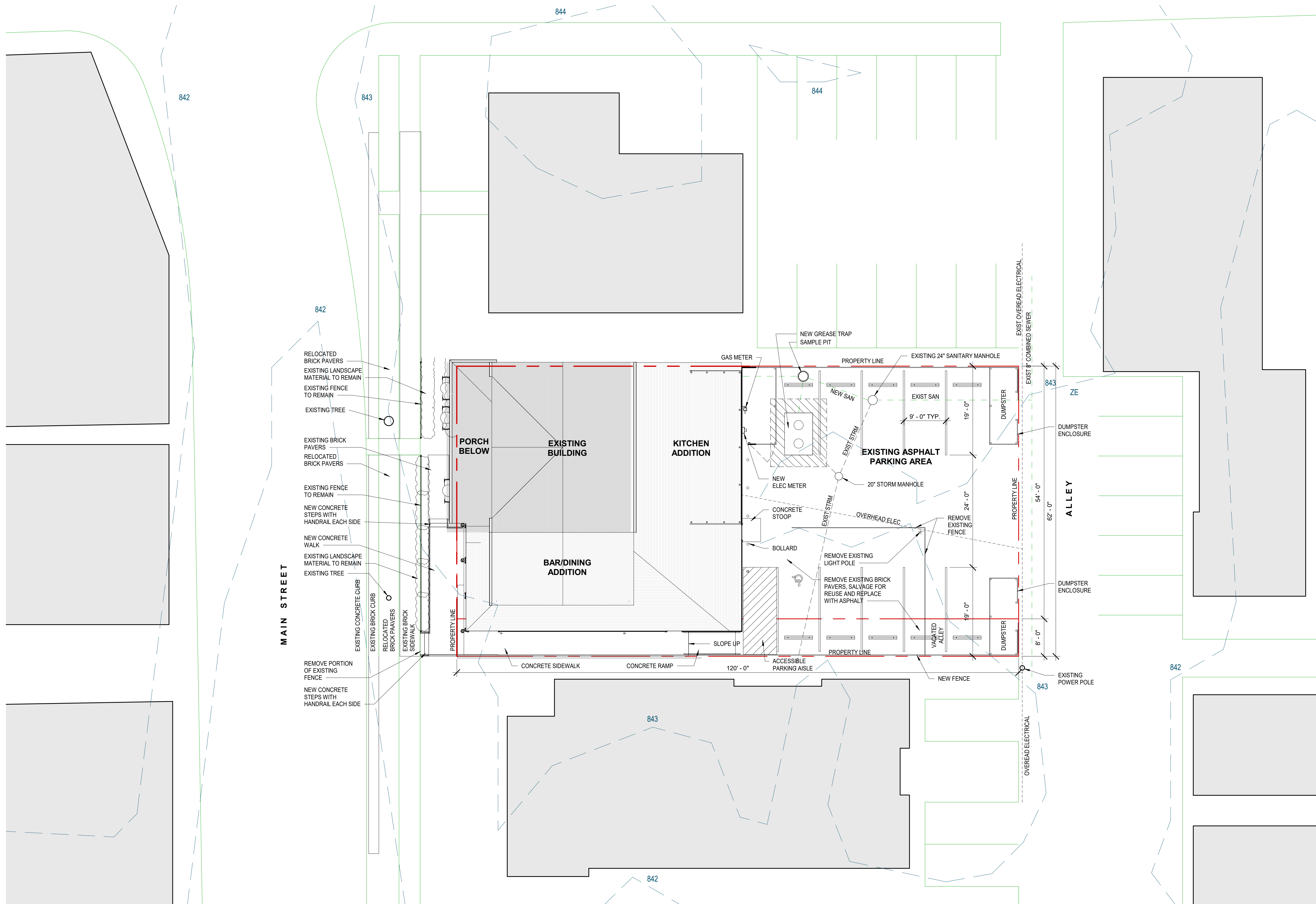
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1 SITE PLAN
C100
10' 20' 30'
ORIGINAL SCALE PRINTED @ 30X42 IS 1" = 10'-0"

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SITE PLAN

C100

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1
A004

MAIN LEVEL EXISTING

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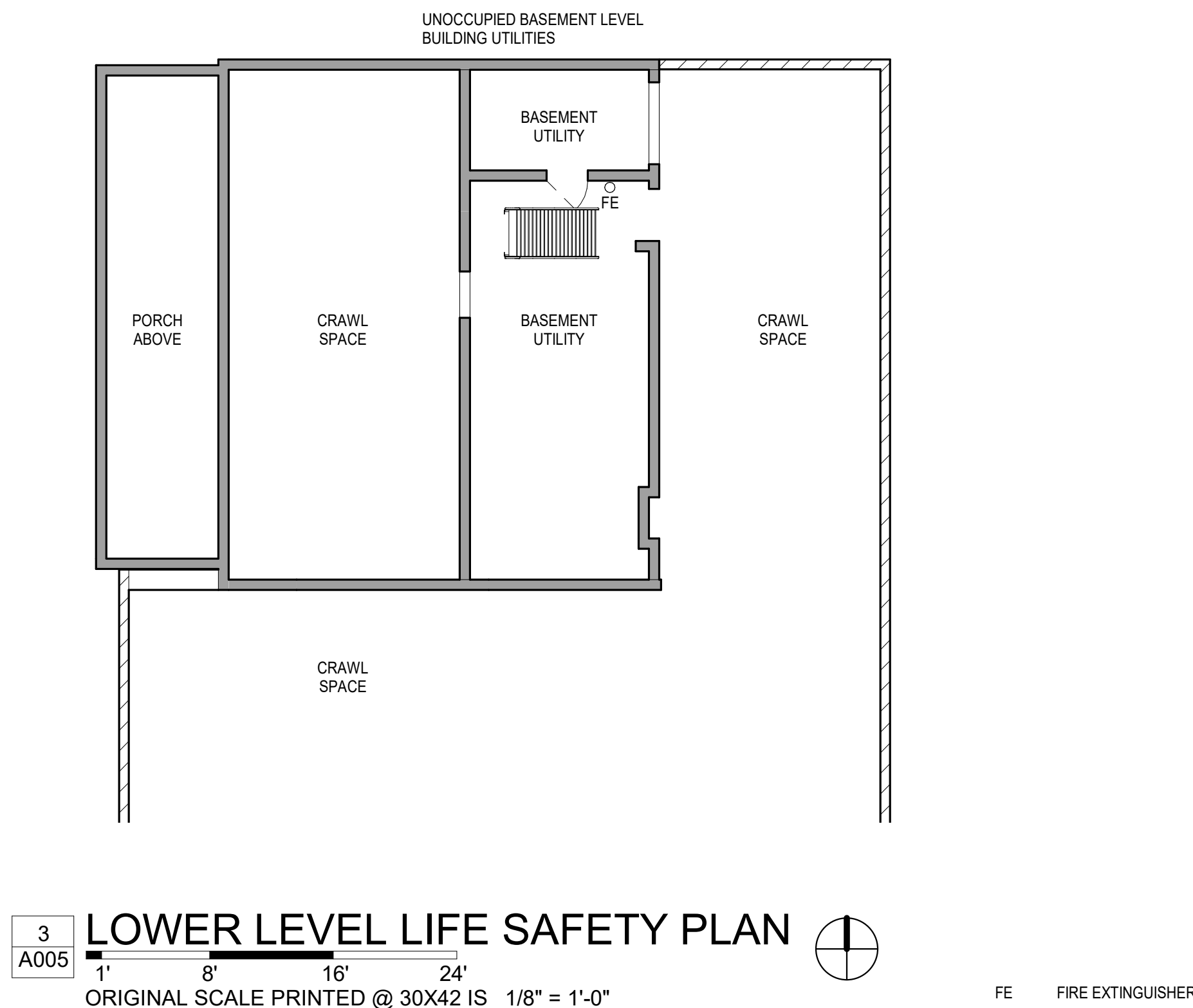
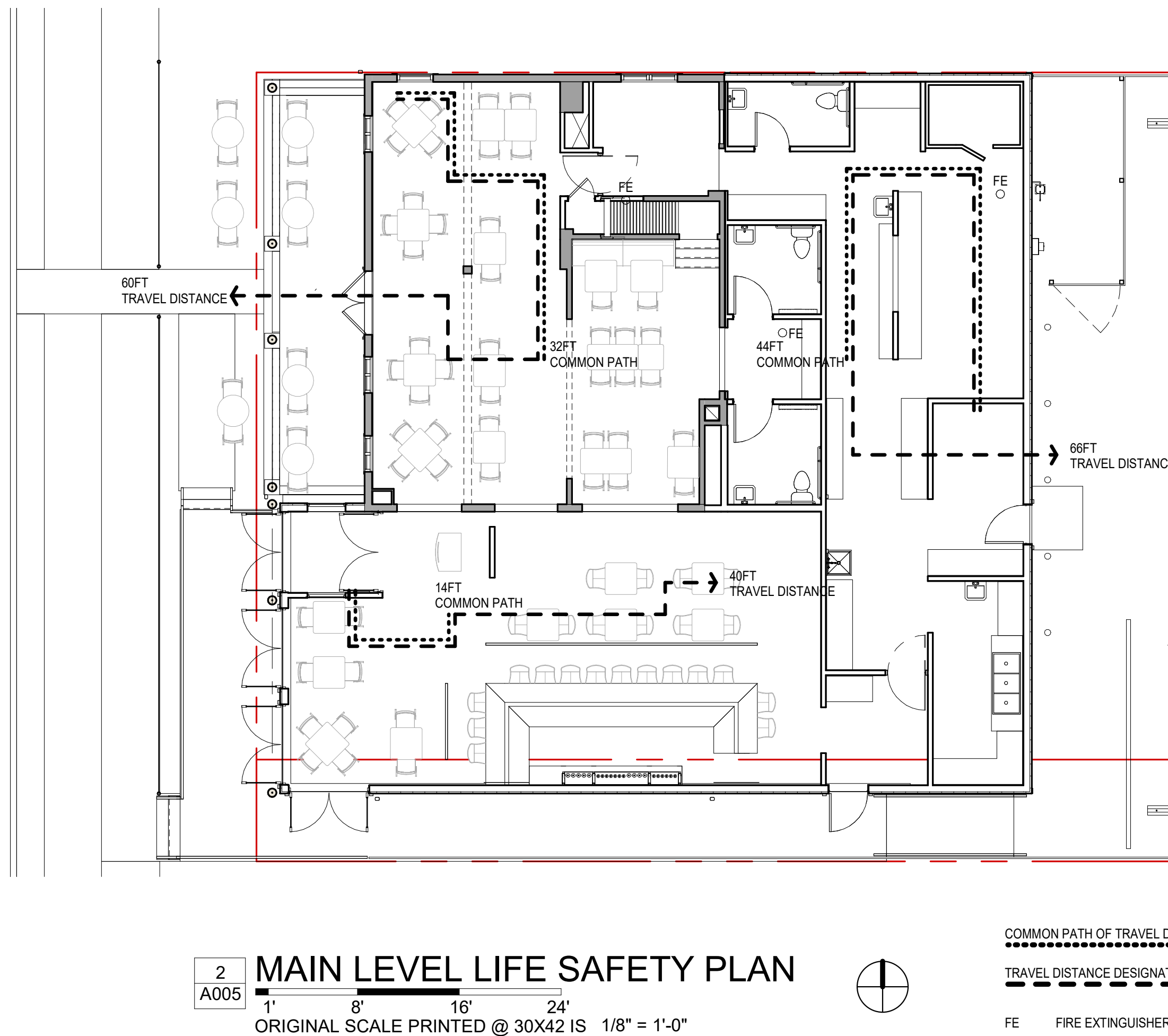
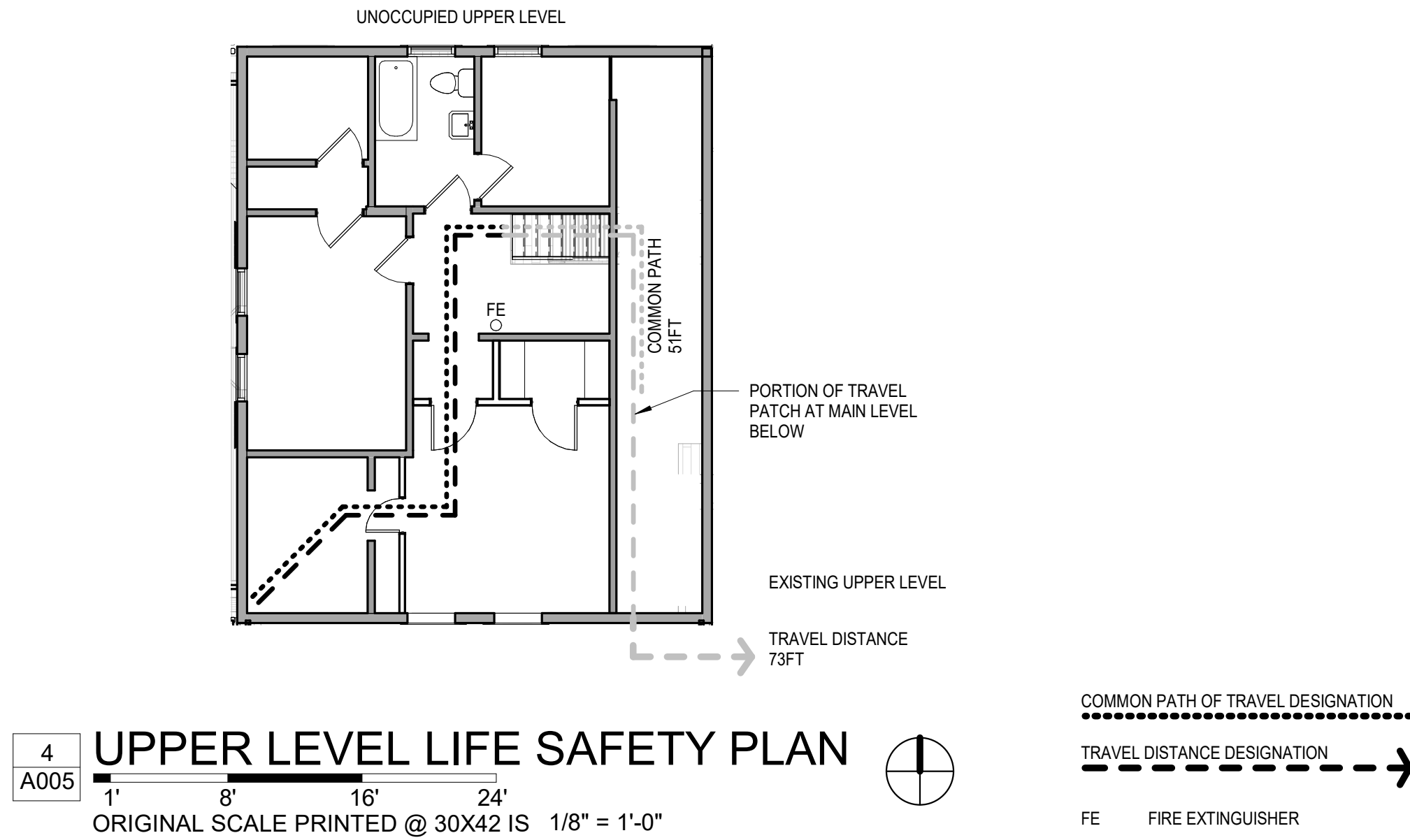
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EXISTING FLOOR
PLAN

A004

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BUILDING CODE SUMMARY:

Indiana Building Code 2014 Edition (IBC - International Building Code 2012 Edition and ANSI A117.1 2009)
Indiana Plumbing Code 2012 Edition
Indiana Mechanical Code 2014 Edition (IMC 2012 1st Printing)
Indiana Electrical Code 2009 Edition (NFPA 70-2008)
Indiana Energy Conservation Code 2010 (ASHRAE 90.1 2007 Edition)
Indiana Fire Code 2014 Edition (IFC 2012 Edition)

Scope of Project:
Renovation of existing restaurant and two additions.
South addition for bar and dining area.
East addition for kitchen area.
Site improvements include creation of an accessible route.

Building Occupancy Classification - Table 304:
A-2 Assembly Restaurant/Bar, Kitchen [IBC 303.1]
Allowable Area A-2 6,000sf one story [IBC Table 503]
B 5,000sf two story
S-2 13,500sf two story

Actual Area 1,764sf First Level Existing
680sf First Level New
2,444sf First Level Total
966sf Second Level Existing
483sf Lower Level Existing

Accessory Occupancy Not more than 10 percent of area of story
No separation between accessory and main occupancy [IBC 508.2.1]
[IBC 508.2.4]

Construction Type V-B [IBC 602.5]

Fire Resistance Rating of the Exterior Walls 0 hours > 10' [IBC Table 602]

Occupant Load 57 occupants (1164sf/15) Dining/Bar Assembly - 15 net
5 occupants (1355sf/200) Kitchen - 200 gross
62 occupants main level Main Level Total Occupants [IBC Table 1004.1.2]

Common Path of Travel 75ft [IBC Table 1014.3]

Maximum Travel Distance 200ft [IBC Table 1016.2]

Maximum Travel Distance 75ft [IBC Table 1021.2(2)]
Story with one exit



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LIFE SAFETY PLAN

A005

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A503
1' 4' 8' 12'
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STREETSCAPE ELEVATION



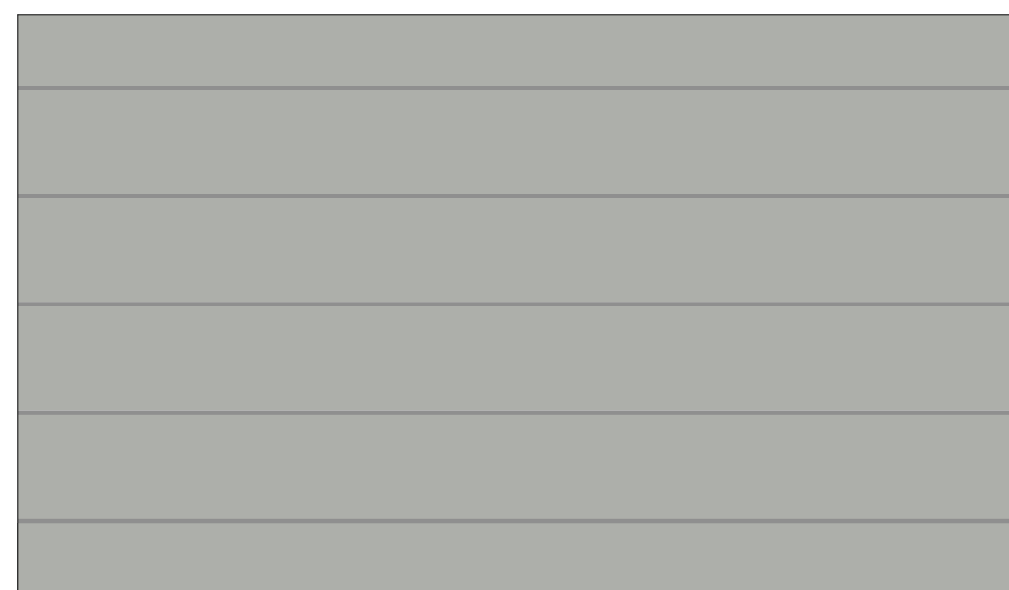
MFG: FANIMATION
MODEL: TRIAIRE 54"
FINISH: WHITE
(2) ON WEST PORCH CEILING

I EXTERIOR CEILING FAN



MFG: JAMES HARDIE
STYLE: SMOOTH FACE
FINISH: PAINTED SW7757 SATIN SHEEN

H EXTERIOR TRIM



MFG: TRUEX
MODEL: COMPOSITE LAP SIDING
FINISH: PAINTED SW7085 "SUBJECT TO FINAL SAMPLE MARKUP AND FACADE GRANT APPROVAL"

G EXTERIOR SIDING



MATERIAL: INDIANA LIMESTONE
CLEAN PER INDIANA LIMESTONE INSTITUTE GUIDELINES

F EXISTING LIMESTONE



MFG: BESA LIGHTING
MODEL: SULTANA GLOBE

E WALL SCONCE AT ENTRANCE



MFG: TORY RLM LS SERIES
MODEL: BULLET HEAD
FINISH: WHITE
MITER ARM AT FACADE ARTWORK
MONOPOINT ON POLE ABOVE SIGN

C SIGN/ART LIGHTING



B FRENCH DOORS



A ENTRANCE DOOR



MFG: EAST COAST WEATHERVANES
MODEL: FULL BODIED MERMAID
FINISH: COPPER
RIDGE MOUNTED 18" FROM EDGE OF ROOF

M WEATHER VANE



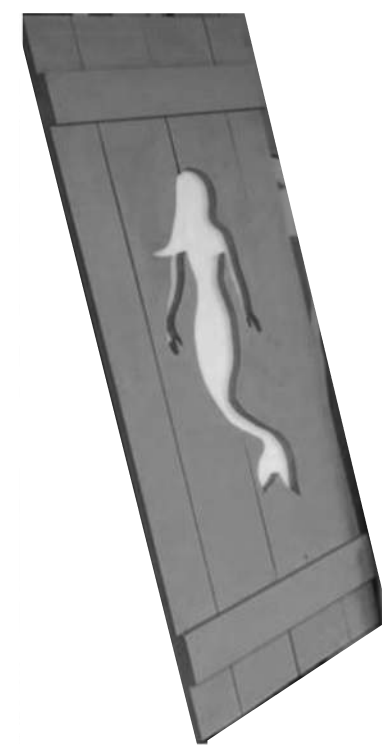
MFG: COATED METALS GROUP OR EQUIVALENT
MATERIAL: 24 GA PREFINISHED GALVANIZED STEEL
SHAPE: HALF-ROUND GUTTER, CIRCULAR DOWNSPOUT
COLOR: WHITE

K GUTTER / DOWNSPOUT



MFG: GAF
MODEL: TIMBERLINE
FINISH: MATCH EXISTING SHINGLES

L ROOF SHINGLES



SIZE: MATCH WINDOW OPENING
FINISH: PAINTED WHITE - MATCH WOOD TRIM
INCLUDE HINGE BRACKETS, (2) PER SHUTTER
AT EACH HORIZONTAL SHUTTER BOARD
ATTACHED TO WINDOW JAMB

J DECORATIVE SHUTTER



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EXTERIOR MATERIALS

A006

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NEARBY PROPERTIES WITH
SIMILAR CONSTRUCTION FEATURES

A. SHINGLE ROOFING

B. LAP SIDING

C. WINDOWS SUBDIVIDED BY MUNTINS

D. SHUTTERS

E. PORCHES

F. OUTDOOR DINING W/ FESTOON LIGHTS

G. POST SIGNS AT SIDEWALK

H. NEUTRAL PAINT SCHEMES



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NEIGHBORHOOD
PRECEDENTS

A007

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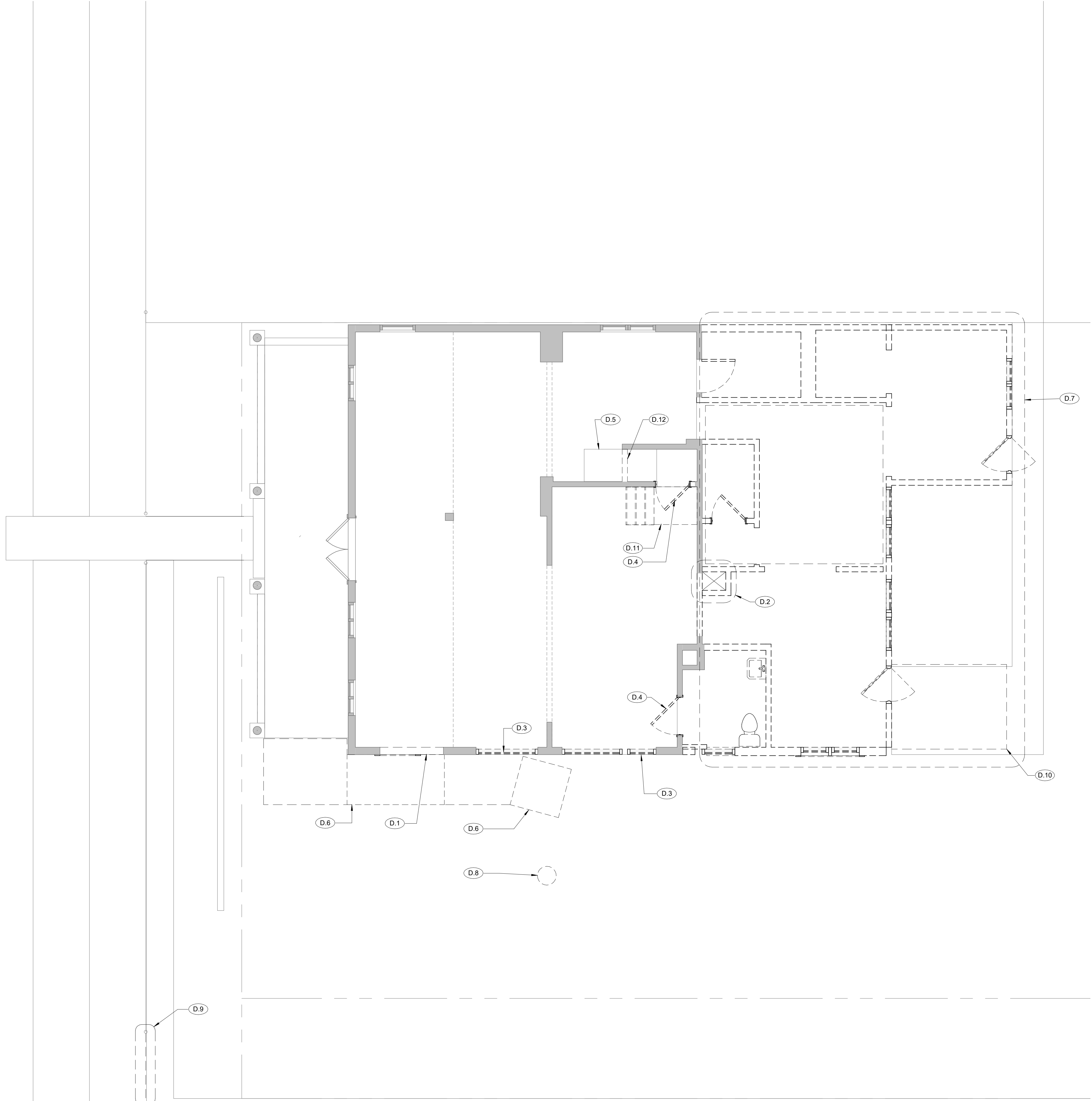
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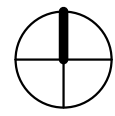
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DEMOLITION KEYNOTES	
D.1	REMOVE EXISTING EXTERIOR WALL CONSTRUCTION.
D.2	REMOVE EXISTING BRICK CHIMNEY.
D.3	REMOVE EXISTING WINDOW.
D.4	REMOVE EXISTING DOOR, FRAME AND HARDWARE.
D.5	CUT, PROVIDE HEADER AND FRAME FLOOR OPENING TO RECEIVED NEW CELLAR SHIP LADDER.
D.6	REMOVE EXISTING RAMP, LANDING AND RAILING.
D.7	REMOVE BUILDING ADDITION INCLUDING ABOVE FOUNDATION FRAMING, WALLS, CEILING AND ROOF CONSTRUCTION.
D.8	REMOVE EXISTING TREE AND ROOT SYSTEM.
D.9	REMOVE PORTION OF EXISTING IRON FENCE.
D.10	REMOVE EXISTING CONCRETE STOOP.
D.11	REMOVE PORTION OF EXISTING STAIR LANDING AND SHORT FLIGHT FROM LANDING.
D.12	REMOVE EXISTING INTERIOR PARTITION.



1
A100
MAIN LEVEL DEMOLITION
ORIGINAL SCALE PRINTED @ 30X42 IS 1/4" = 1'-0"



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DEMOLITION PLAN

A100

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FLOOR PLAN NOTES

1. ALIGN FINISHED WALL SURFACES.
2. REMOVE EXISTING EXTERIOR SIDING AND REPLACE WITH GYPSUM DRYWALL.
3. FURNITURE, OWNER FURNISHED OWNER INSTALLED.
4. REFER TO DRAWING A001 TYPICAL RESTROOM LAYOUT FOR TYPICAL DIMENSIONS, TOILET ACCESSORIES, MOUNTING HEIGHTS AND DETAILED INFORMATION.
5. BABY CHANGING STATION BOBRICK KB-200SS
6. INFILL EXISTING WINDOW/DOOR OPENING WITH NEW 2X4 STUD FRAMING AND SHEATHING TO MATCH ADJACENT WALL SURFACE (INTERIOR AND EXTERIOR).
7. NOT USED
8. NOT USED
9. NOT USED
10. NOT USED
11. WALL OPENING FOR KITCHEN PASS THROUGH. COORDINATE SIZE WITH KITCHEN EQUIPMENT.



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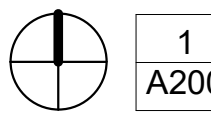
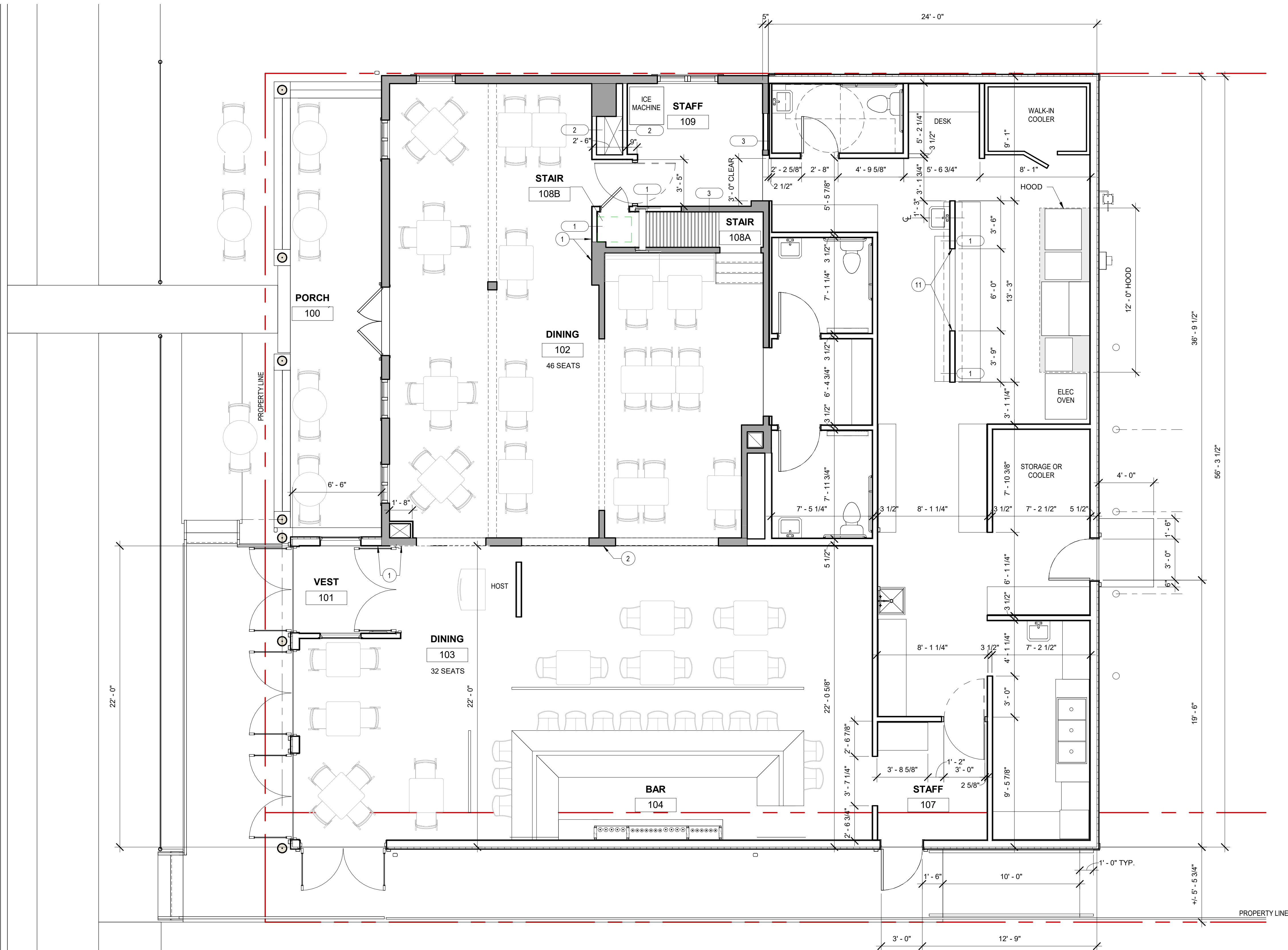
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FLOOR PLAN

A200

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1 A200 MAIN LEVEL PLAN

1" = 4' ORIGINAL SCALE PRINTED @ 30X42 IS 1/4" = 1'-0"



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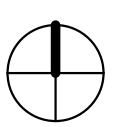
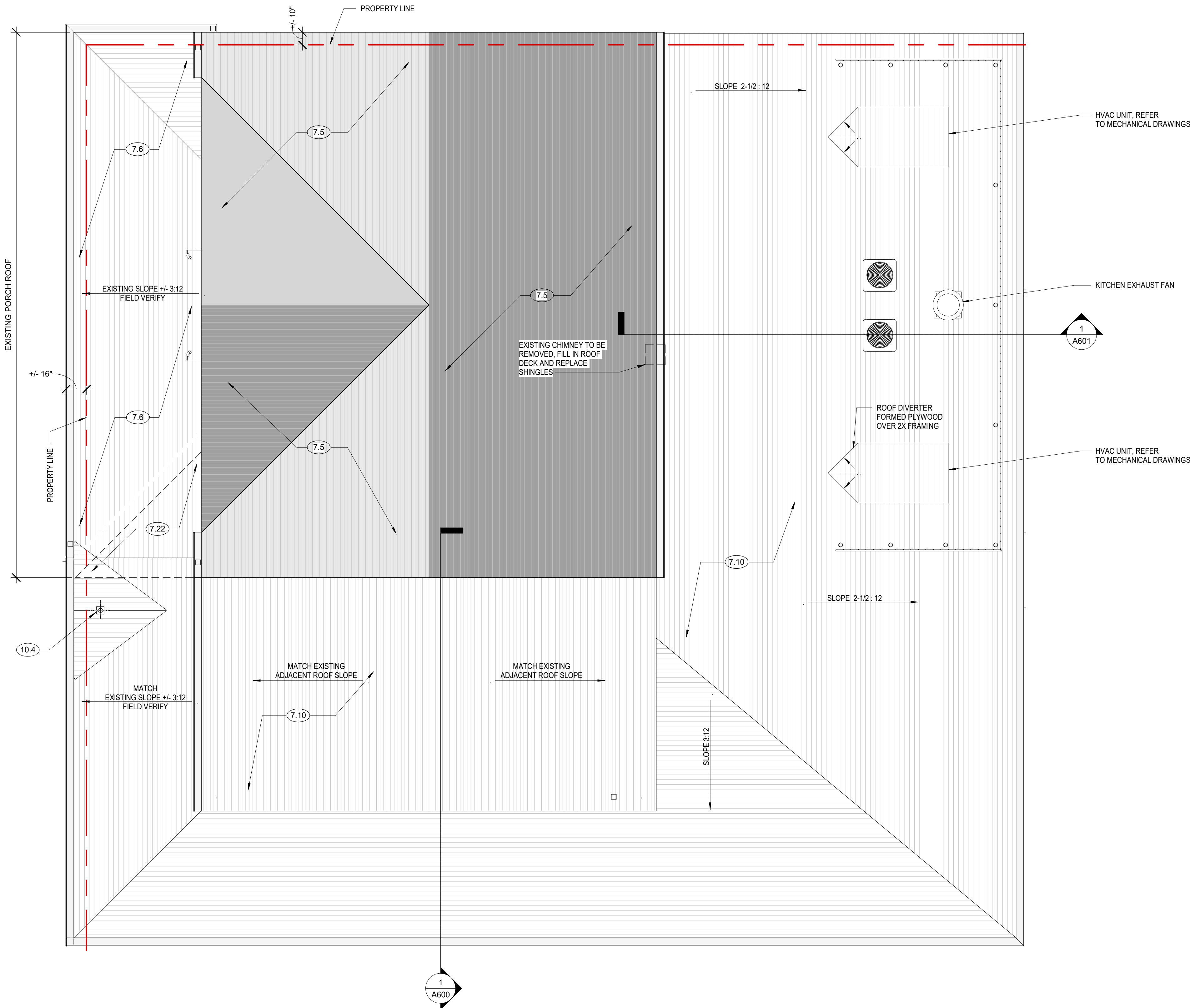
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GENERAL ROOFING NOTES

- A. THESE GENERAL NOTES APPLY TO ROOF DRAWINGS.
- B. VERIFY SIZE, LOCATION AND NUMBER OF ROOF PENETRATIONS INCLUDING VENTS, PIPES, CURBS, ROOF DRAINS, CONDUITS, ETC. PROVIDE NEW FLASHING AND SEAL PENETRATIONS WHETHER OR NOT INDICATED ON THE DRAWINGS.
- C. COMPLETE WORK ABOVE ROOF, SUCH AS MASONRY, WELDING, MASONRY RESTORATION, ETC., PRIOR TO STARTING ROOFING WORK.
- D. VERIFY AND MAINTAIN ROOF SLOPES AND DRAINAGE PATTERNS. TEST FOR AND CORRECT ANY PONDING CONDITIONS.
- E. REPAIR AND REPLACE ROOFING SYSTEM OR STRUCTURE DAMAGED BY IMPROPER STORAGE, CONSTRUCTION ACTIVITIES, OR LACK OF ADEQUATE TEMPORARY PROTECTION. THIS ALSO INCLUDES INTERIOR DAMAGE TO FINISHES, EQUIPMENT, FURNISHINGS, ETC., RESULTING FROM LEAKS.
- F. BLOCKING SHALL BE PRESERVATIVE-TREATED WOOD.
- G. PAINT EXTERIOR LADDERS, BRACKETS, ETC., UNLESS NOTED OTHERWISE.
- H. CAP FASTENERS THAT PENETRATE ROOF DECK IN AREAS NOT CONCEALED BY CEILINGS WITH WIRE NUTS OR OTHER MEANS ACCEPTABLE TO ARCHITECT UNLESS OTHERWISE INDICATED. AREAS SUCH AS JANITOR CLOSETS, STORAGE ROOMS, MECHANICAL AND ELECTRICAL EQUIPMENT ROOMS, ETC., ARE EXEMPT FROM THIS REQUIREMENT UNLESS OTHERWISE INDICATED.
- J. REFER TO WALL SECTIONS NOTED ON ROOF PLANS FOR INFORMATION.
- K. REFER TO MECHANICAL DRAWINGS TO COORDINATE MECHANICAL UNIT LOCATIONS.

KEYNOTES

3.3	CONTINUOUS REINFORCED CONCRETE FOUNDATION WALL AND FOOTING
4.8	CLEAN EXISTING LIMESTONE
5.9	STEEL RAILING, PAINTED, 36" ABOVE WALKING SURFACE
6.1	WOOD STUD
6.2	WOOD FRAMING
6.3	PLYWOOD SHEATHING
6.4	ROOF DECK SHEATHING
6.5	COMPOSITE SHEATHING
6.6	WOOD JOIST
6.9	WOOD SUBFLOOR
6.13	WOOD PLATE
7.3	BATT INSULATION
7.4	VAPOR BARRIER
7.5	EXISTING ASPHALT SHINGLES TO REMAIN
7.6	REPLACE EXISTING ASPHALT SHINGLES WITH FULL ICE AND WATER SHIELD UNDERLAYMENT
7.9	ROOF MEMBRANE SYSTEM
7.10	ASPHALT SHINGLES WITH FULL ICE AND WATER SHIELD UNDERLAYMENT
7.11	RIGID INSULATION, R-20 MINIMUM
7.12	COMPOSITE FASCIA TRIM, PAINTED
7.13	RECOVERY BOARD
7.15	BASE FLASHING AND COUNTER FLASHING, EXTEND ROOF MEMBRANE UP WALL 8" MIN.
7.17	PREFINISHED METAL WALL COPING
7.19	ROOF MEMBRANE TO EXTEND UP AND OVER PARAPET WALL
7.22	OVERBUILD EXISTING ROOF DECK THIS AREA
7.23	LAP SEALANT
7.24	ASPHALT SHINGLES
7.32	GFRP PREFABRICATED COLUMN ENCLOSURE, PAINTED
7.33	COMPOSITE LAP SIDING
7.34	PREFINISHED GUTTER
7.35	PREFINISHED DOWNSPOUT
7.36	REPAIR EXISTING PORCH WOOD TRIM, REPAINT
7.37	COMPOSITE TRIM
8.2	CLAD WOOD DOOR
8.4	HOLLOW METAL DOOR, INSULATED, PAINTED
8.13	REPAIR/PAINT EXISTING WOOD WINDOW FRAME AND MUNTINS, COLOR: WHITE, BASED UPON SITE MOCKUP APPROVAL. TYPICAL AT EXISTING WINDOWS.
9.6	REMOVE EXISTING SHINGLE SIDING DOWN TO ORIGINAL LAP SIDING. REPAIR/PAINT EXISTING LAP SIDING.
9.7	REPAIR/PAINT EXISTING WINDOW TRIM SURROUND, COLOR: WHITE.
9.8	PAINT EXISTING WOOD FASCIA
9.9	FRP WALL PANEL OVER WALL CONSTRUCTION (EXISTING OR NEW DRYWALL)
9.10	SUSPENDED CEILING SYSTEM
10.3	WALL MOUNTED ARTWORK
10.4	WEATHER VANE
10.5	DECORATIVE SHUTTER
10.6	KITCHEN EXHAUST HOOD
10.7	KITCHEN EQUIPMENT
23.2	KITCHEN EXHAUST ON BUILT-UP CURB
26.3	WALL MOUNTED LIGHT FIXTURE
26.5	REPLACE EXISTING WALL MOUNTED LIGHT FIXTURES EACH SIDE OF ENTRANCE DOOR



2
A400

ROOF PLAN

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ROOF PLAN

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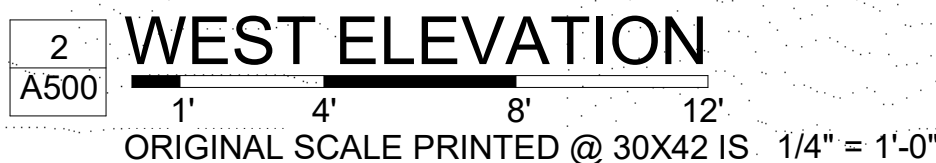
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2750 TOBEY DRIVE

3.0	CONTINUOUS REINFORCED CONCRETE FOUNDATION WALL AND FOOTING
4.8	CLEAN EXISTING LIMESTONE
5.9	STEEL RAILING, PAINTED, 36" ABOVE WALKING SURFACE
6.1	WOOD STUD
6.2	WOOD FRAMING
6.3	PLYWOOD SHEATHING
6.4	ROOF DECK SHEATHING
6.5	COMPOSITE SHEATHING
6.6	WOOD JOIST
6.9	WOOD SUBFLOOR
6.13	WOOD PLATE
7.3	BATT INSULATION
7.4	WAPOR BARRIER
7.5	EXISTING ASPHALT SHINGLES TO REMAIN
7.6	REPLACE EXISTING ASPHALT SHINGLES WITH FULL ICE AND WATER SHED UNDERLAYMENT
7.7	ROOF MEMBRANE SYSTEM
7.10	ASPHALT SHINGLES WITH FULL ICE AND WATER SHED UNDERLAYMENT
7.11	RIGID INSULATION, R-20 MINIMUM
7.12	COMPOSITE FASCIA TRIM, PAINTED
7.13	RECOVER BOARD
7.15	BASE FLASHING AND COUNTER FLASHING, EXTEND ROOF MEMBRANE UP WALL 8" MIN
7.17	PREFINISHED WALL COPING
7.19	ROOF MEMBRANE TO EXTEND UP AND OVER PARAPET WALL
7.22	OVERBULD EXISTING ROOF DECK THIS AREA
7.23	LAP SEALANT
7.24	ASPHALT SHINGLES
7.32	GFRP PREFABRICATED COLUMN ENCLOSURE, PAINTED
7.33	COMPOSITE LAP SIDING
7.34	PREFINISHED GUTTER
7.35	PREFINISHED DOWNSPOUT
7.36	REPAIR ROOF PORCH WOOD TRIM, REPAIR
7.37	COMPOSITE TRIM
8.2	CLAP WOOD TRIM
8.4	HOLLOW WALL BOARD, INSULATED, PAINTED
8.13	REPAIR/PAINT EXISTING WINDOW FRAME AND MOUNTING CLOTH, WHITE, BASED UPON SITE MOCKUP APPROVAL, TYPICAL AT EXISTING WINDOWS
9.6	REMOVE EXISTING SHINGLE SIDING DOWN TO ORIGINAL LAP
9.7	REPAIR/PAINT EXISTING WINDOW TRIM SURROUND, CLOTH, WHITE
9.8	PAINT EXISTING WINDOW FASCIA
9.9	FRP WALL PANEL OVER WALL CONSTRUCTION (EXISTING OR NEW DRYWALL)
10.0	SUSPENDED CEILING SYSTEM
10.3	WALL MOUNTED ARTWORK
10.4	WEATHER VANE
10.5	DECORATIVE SHUTTER
10.6	KITCHEN EXHAUST HOOD
10.7	KITCHEN EQUIPMENT
20.2	KITCHEN EXHAUST ON BUILT-UP CURB
20.3	WALL MOUNTED LIGHT FIXTURE
26.5	REPLACING EXISTING WALL MOUNTED LIGHT FIXTURES EACH SIDE OF ENTRANCE DOOR
D.1	REMOVE EXISTING EXTERIOR WALL CONSTRUCTION.
D.2	REMOVE EXISTING BRICK CHIMNEY.
D.3	REMOVE EXISTING WINDOW.
D.4	REMOVE EXISTING DOOR, FRAME AND HARDWARE.
D.5	CUT PROVIDE HEADER AND FRAME FLOOR OPENING TO RECEIVED NEW CELLAR SHIP LADDER.
D.6	REMOVE EXISTING RAMPS, BANDING AND RAILING.
D.7	REMOVE BUILDING ADDITION INCLUDING ABOVE FOUNDATION FRAMING, WALLS, CEILING AND ROOF CONSTRUCTION.
D.8	REMOVE EXISTING TREE AND ROOT SYSTEM.
D.9	REMOVE PORTION OF EXISTING IRON FENCE.
D.10	REMOVE EXISTING CONCRETE STOOP.
D.11	REMOVE PORTION OF EXISTING STAIR LANDING AND SHORT STAIR LANDING.
D.12	REMOVE EXISTING INTERIOR PARTITION.

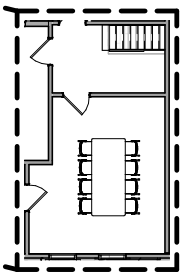
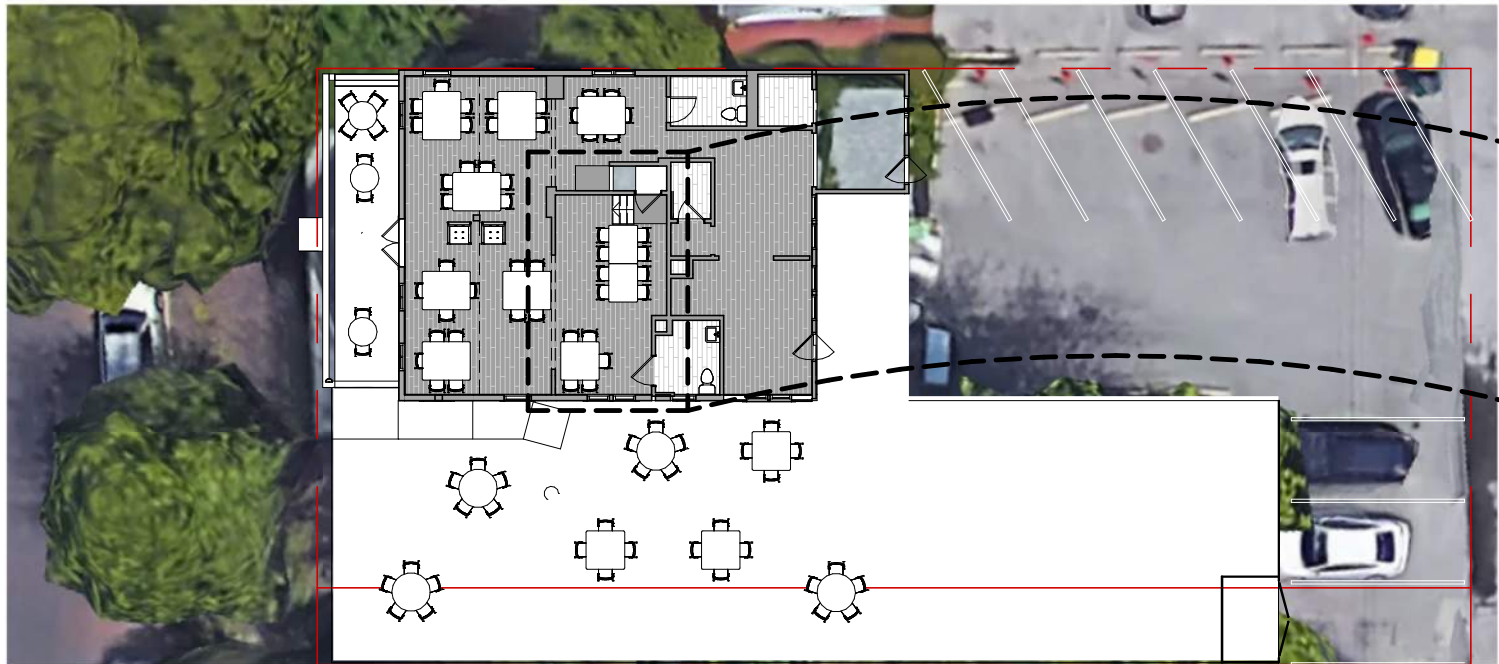


ISSUE DATE: 2021-05-14

1	REVISION	2021-08-11
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A500

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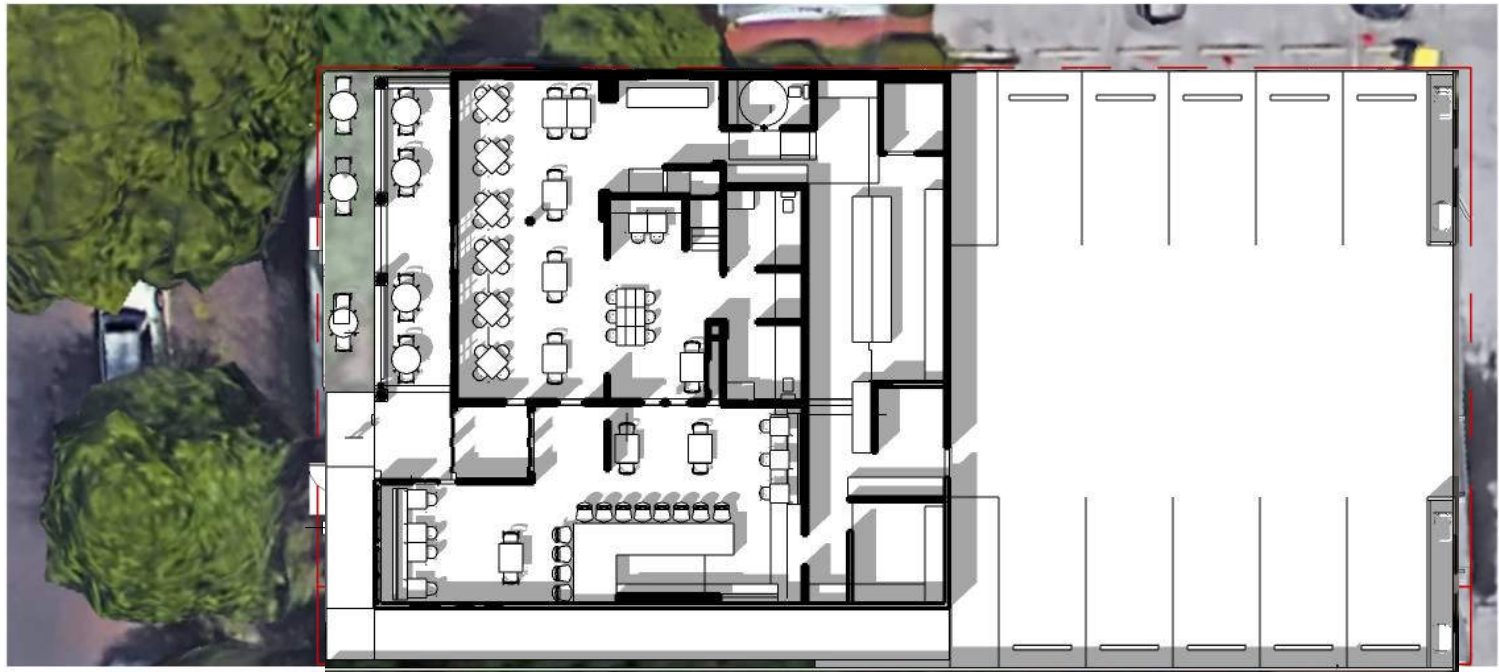


SERENITY
SECOND FLOOR
SEATING PLAN

SERENITY SEATING PLAN

GUEST SEATING

	EXISTING (FORMER)	PROPOSED
2 TOP SEATS		8
4 TOP SEATS		16
BANQUETTE SEATS		4
BOOTH SEATS		10
DINING SUBTOTAL	49	38
SECOND FLOOR	8	0
BAR SEATS		14
BAR AREA COUNTER		5
BAR SUBTOTAL	0	19

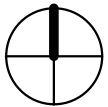


NEW SEATING PLAN

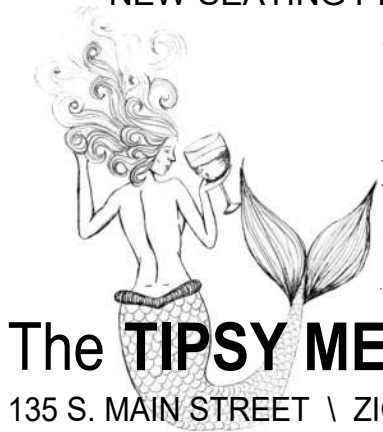
INDOOR SEATS TOTAL	57	78
OUTDOOR SEATS	40	14
TOTAL SEATS	97	92

EXISTING AND PROPOSED SEATING

SCALE: 1" = 20'



2022-04-04



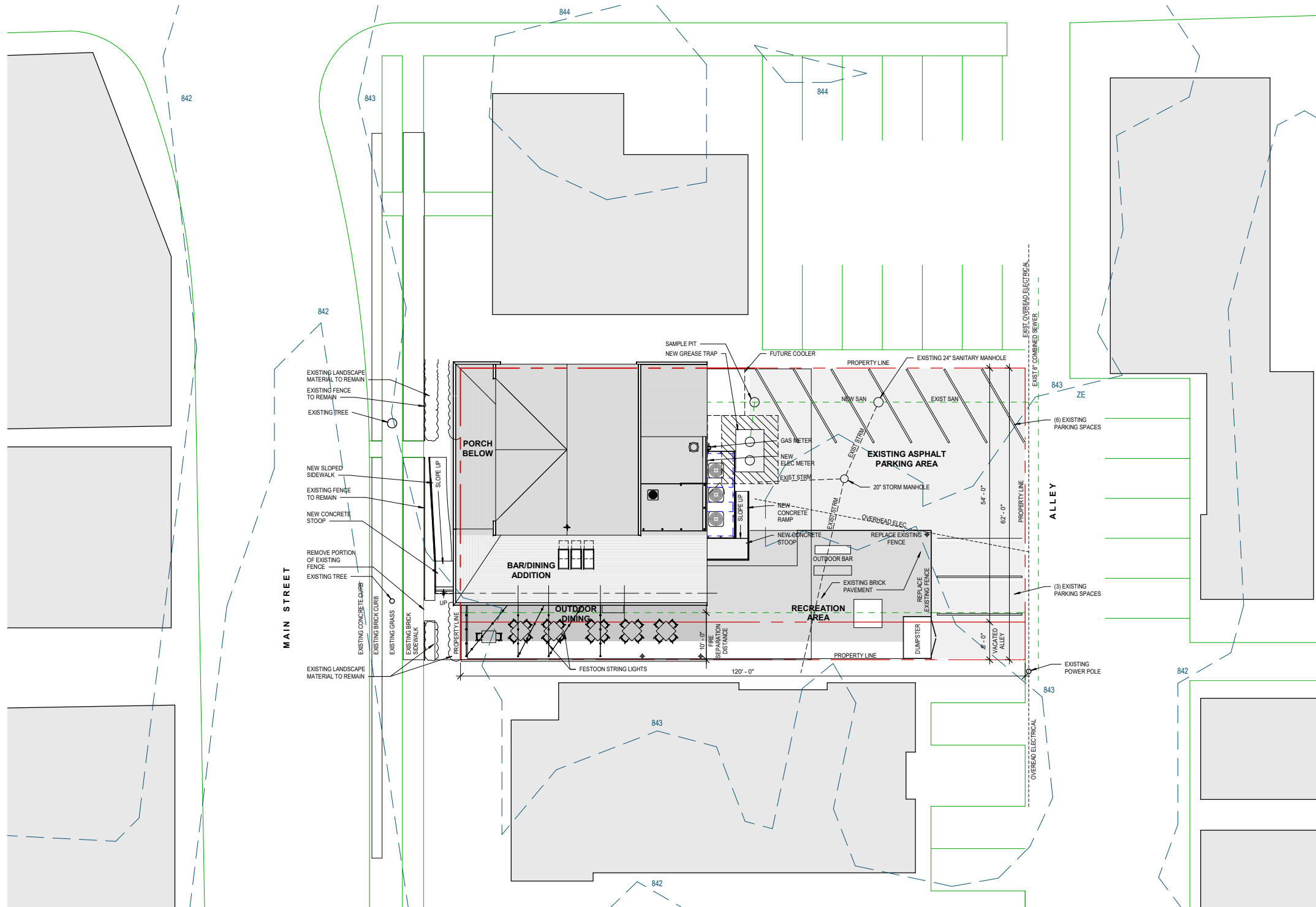
The **TIPSy** MERMAID
135 S. MAIN STREET \ ZIONSVILLE, INDIANA

PRELIMINARY

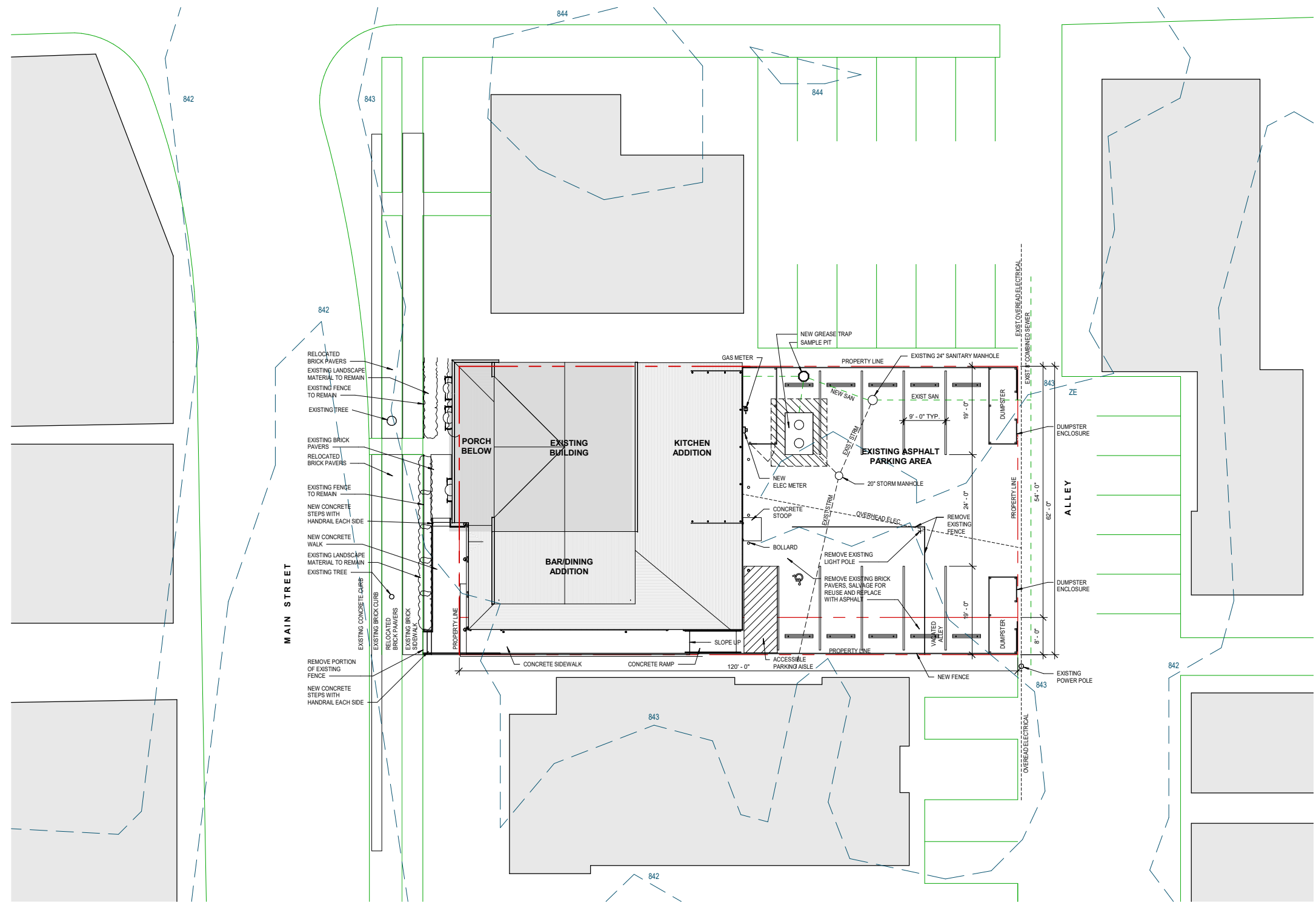
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THE ART of BUILDING™

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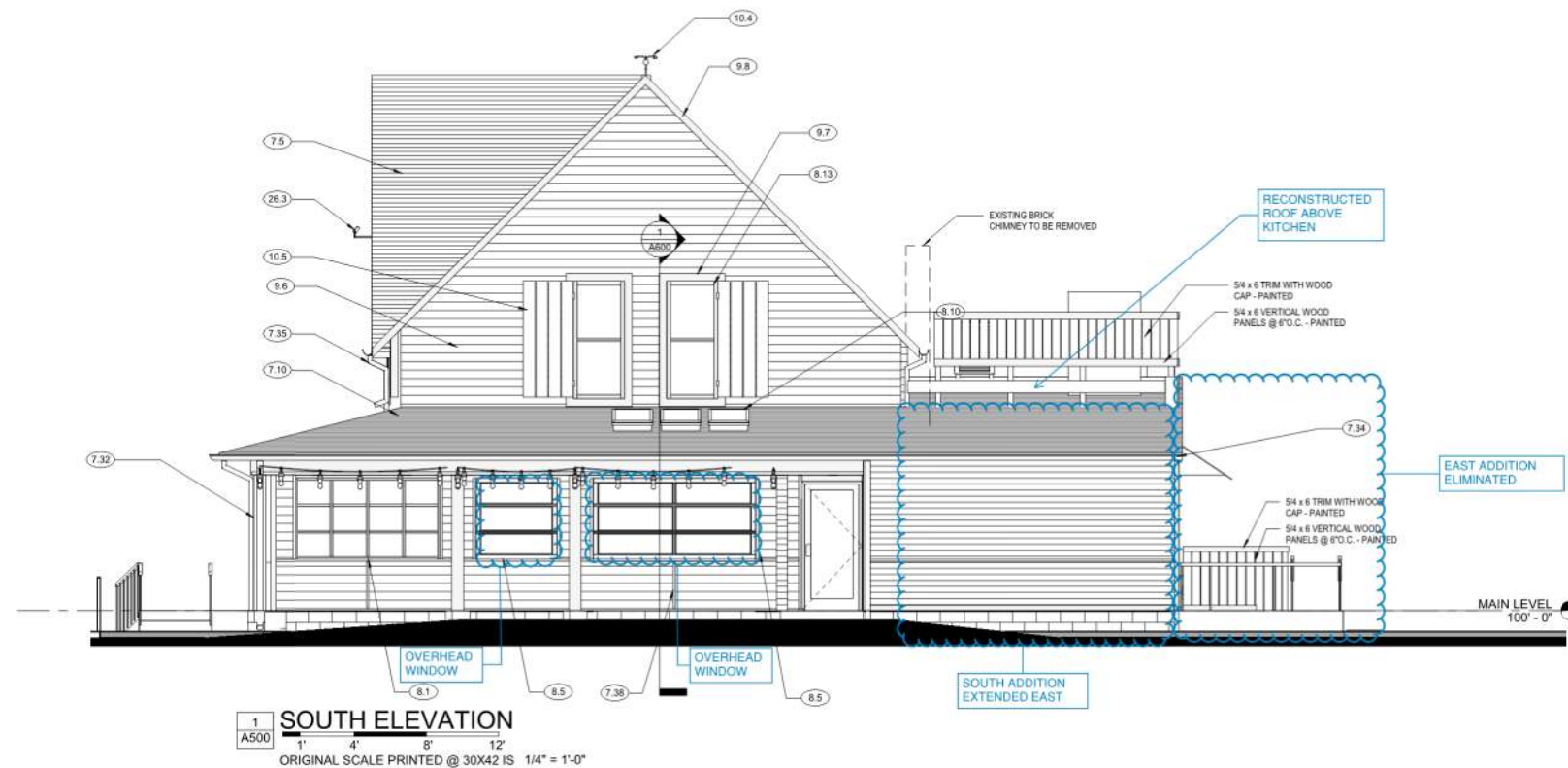
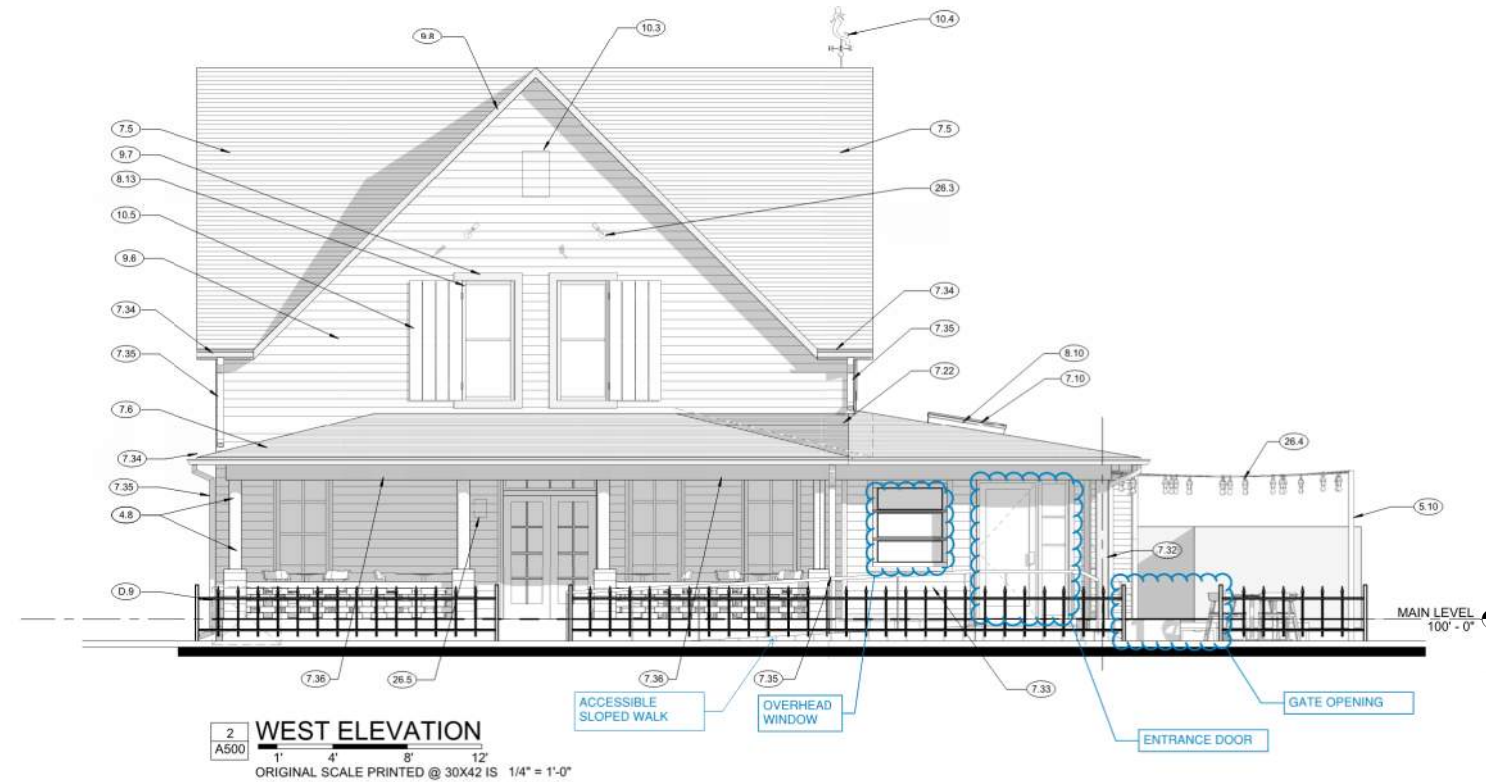
PREVIOUS SITE PLAN



AMENDED SITE PLAN



PREVIOUS ELEVATIONS

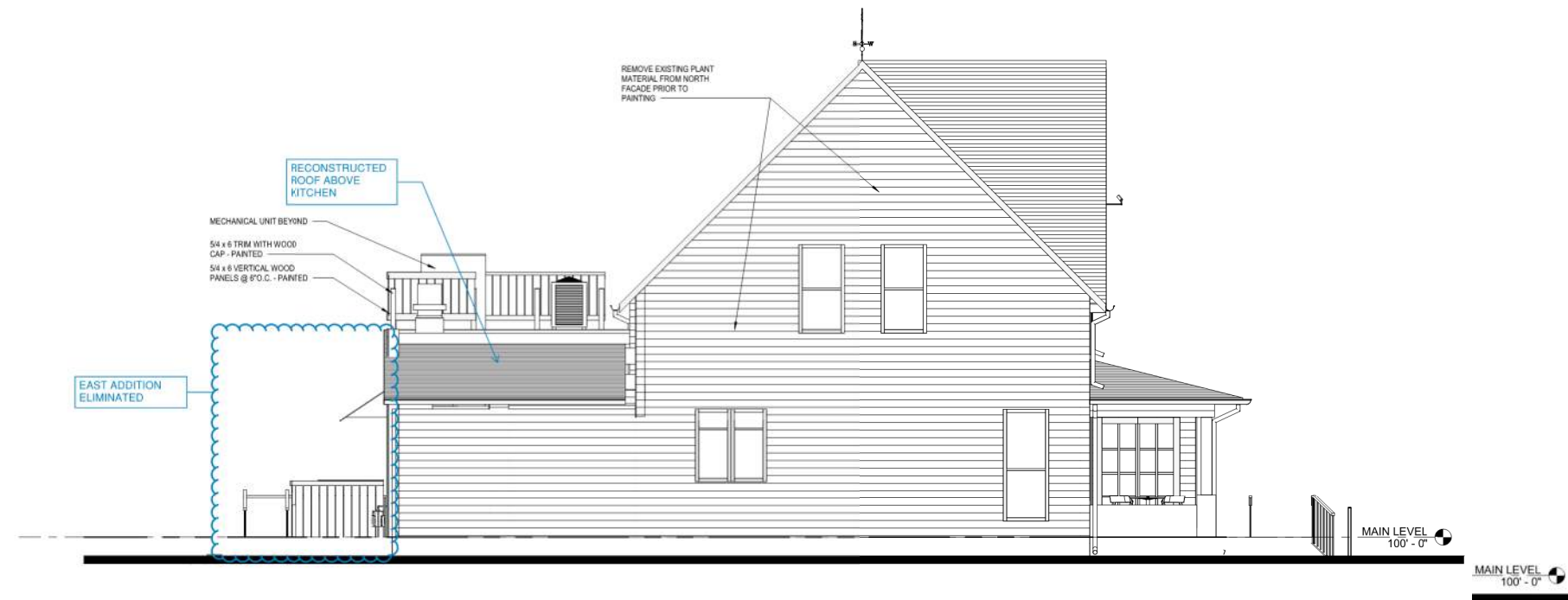


KEYNOTES.

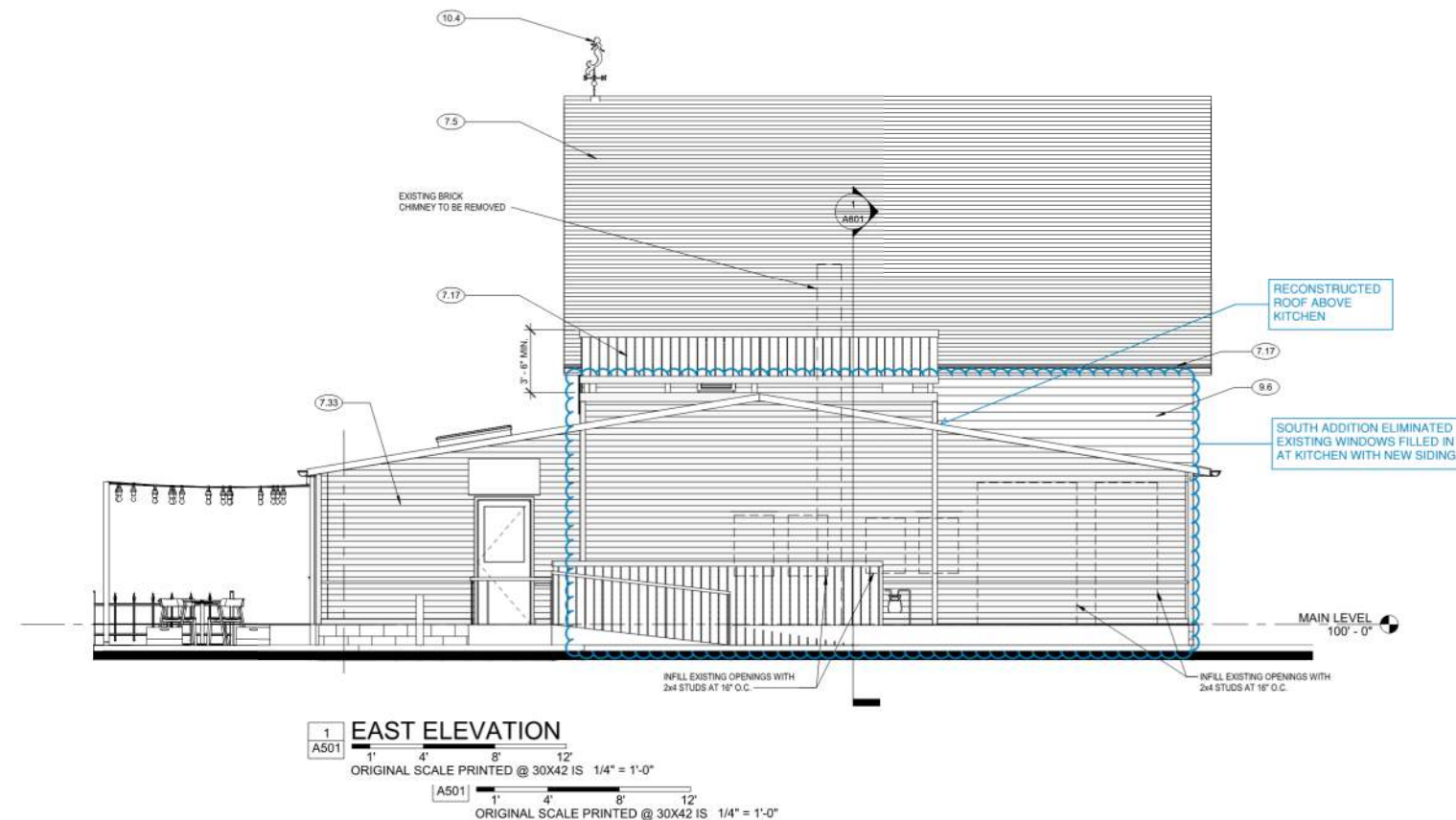
3.3	CONTINUOUS REINFORCED CONCRETE FOUNDATION WALL AND FOOTING
4.8	CLEAN EXISTING LIMESTONE
5.10	3" DIAMETER STEEL POST, PAINTED
6.1	WOOD STUD
6.2	WOOD FRAMING
6.3	PLYWOOD SHEATHING
6.4	ROOF DECK SHEATHING
6.5	COMPOSITE SHEATHING
6.6	WOOD JOIST
6.9	WOOD SUBFLOOR
6.13	WOOD PLATE
7.3	BATT INSULATION
7.4	VAPOR BARRIER
7.5	EXISTING ASPHALT SHINGLES TO REMAIN
7.6	REPLACE EXISTING ASPHALT SHINGLES WITH FULL ICE AND WATER SHIELD UNDERLAYMENT
7.9	ROOF MEMBRANE SYSTEM
7.10	ASPHALT SHINGLES WITH FULL ICE AND WATER SHIELD UNDERLAYMENT
7.11	RIGID INSULATION, R-20 MINIMUM
7.12	COMPOSITE FASCIA TRIM, PAINTED
7.13	RECOVERY BOARD
7.15	BASE FLASHING AND COUNTER FLASHING, EXTEND ROOF MEMBRANE UP WALL 8" MIN.
7.17	PREFINISHED METAL WALL COPING
7.19	ROOF MEMBRANE TO EXTEND UP AND OVER PARAPET WALL
7.22	OVERBUILD EXISTING ROOF DECK THIS AREA
7.23	LAP SEALANT
7.32	GFRP PREFABRICATED COLUMN ENCLOSURE, PAINTED
7.33	COMPOSITE LAP SIDING
7.34	PREFINISHED GUTTER
7.35	PREFINISHED DOWNSPOUT
7.36	REPAIR EXISTING PORCH WOOD TRIM, REPAINT
7.37	COMPOSITE TRIM
7.38	COMPOSITE BATTEN TRIM
8.1	ALUMINUM STOREFRONT, THERMALLY BROKEN, PAINTED FINISH, KAWNEER TRIFAB 451 SYSTEM
8.5	ALUMINUM BI-FOLDING WINDOW
8.10	SKYLIGHT
8.13	REPAIR/PAINT EXISTING WOOD WINDOW FRAME AND MUNTINS, COLOR: WHITE, BASED UPON SITE MOCKUP APPROVAL. TYPICAL AT EXISTING WINDOWS.
9.6	PAINT EXISTING SIDING, COLOR: LIGHT GRAY, BASED UPON SITE MOCKUP APPROVAL. TYPICAL AT EXISTING SIDING.
9.7	REPAIR/PAINT EXISTING WINDOW TRIM SURROUND, COLOR: WHITE
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26.3	WALL MOUNTED LIGHT FIXTURE
26.4	FESTOON LIGHTING
26.5	REPLACE EXISTING WALL MOUNTED LIGHT FIXTURES EACH SIDE OF ENTRANCE DOOR
D.1	REMOVE EXISTING EXTERIOR WALL CONSTRUCTION
D.2	REMOVE EXISTING INTERIOR WALL CONSTRUCTION
D.3	REMOVE EXISTING WINDOW
D.4	REMOVE EXISTING DOOR, FRAME AND HARDWARE
D.5	CUT, PROVIDE HEADER AND FRAME FLOOR OPENING TO RECEIVE NEW CELLAR STAIR
D.6	REMOVE EXISTING RAMP, LANDING AND RAILING
D.7	REMOVE BUILDING ADDITION INCLUDING ABOVE FOUNDATION/FRAMING, WALLS, CEILING AND ROOF CONSTRUCTION
D.8	REMOVE EXISTING TREE AND ROOT SYSTEM
D.9	REMOVE PORTION OF EXISTING IRON FENCE
D.10	REMOVE EXISTING CONCRETE STODP
D.11	REMOVE EXISTING BRICK CHIMNEY
D.12	REMOVE EXISTING FRP PANEL
D.13	REMOVE SUBFLOOR TO EXPOSE FLOOR JOISTS (PRESUMED FORMER PORCH FLOOR)

[illegible]

PREVIOUS ELEVATIONS



2 NORTH ELEVATION
A501
1' 4' 8' 12'
ORIGINAL SCALE PRINTED @ 30X42 IS 1/4" = 1'-0"



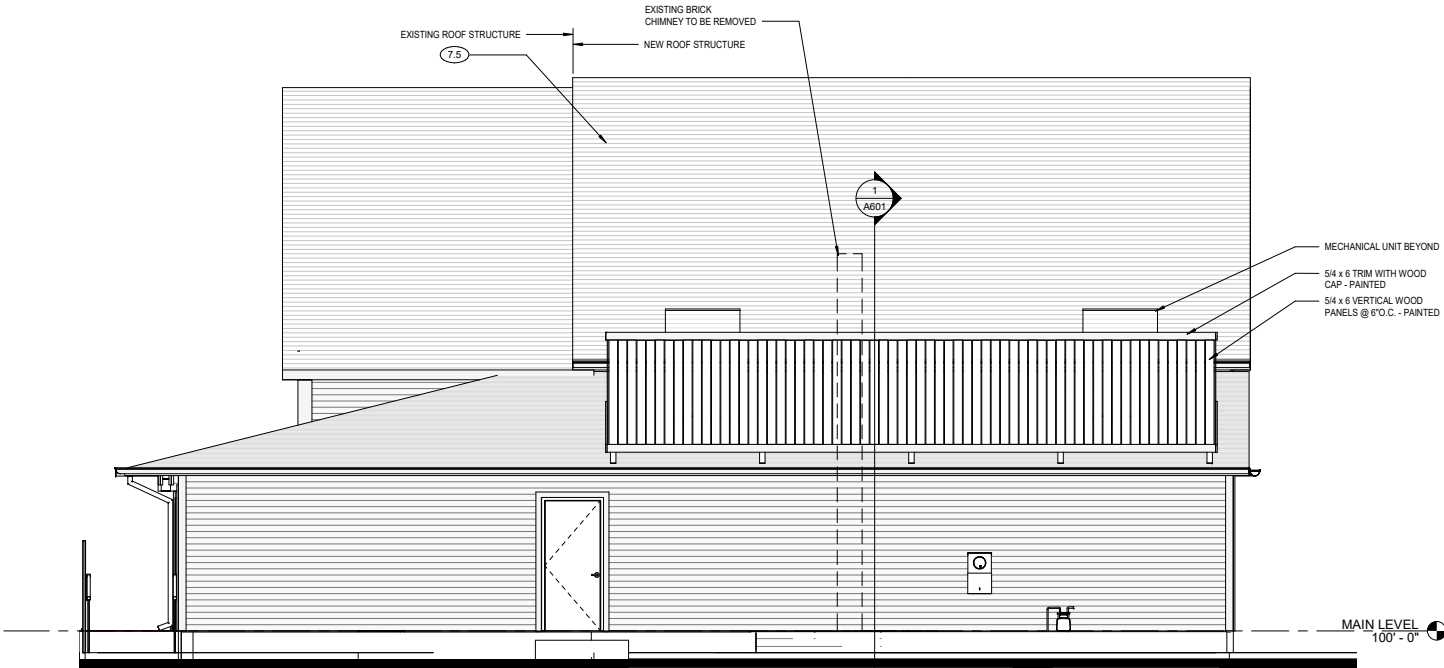
1 EAST ELEVATION
A501
1' 4' 8' 12'
ORIGINAL SCALE PRINTED @ 30X42 IS 1/4" = 1'-0"

KEYNOTES.	
3.3	CONTINUOUS REINFORCED CONCRETE FOUNDATION WALL AND FOOTING
4.8	CLEAN EXISTING LIMESTONE
5.10	3" DIAMETER STEEL POST, PAINTED
6.1	WOOD STUD
6.2	WOOD FRAMING
6.3	PLYWOOD SHEATHING
6.4	ROOF DECK SHEATHING
6.5	COMPOSITE SHEATHING
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7.12	COMPOSITE FASCIA TRIM, PAINTED
7.13	RECOVERY BOARD
7.15	BASE FLASHING AND COUNTER FLASHING, EXTEND ROOF MEMBRANE UP WALL 6" MIN.
7.17	PREFINISHED METAL WALL COPING
7.19	ROOF MEMBRANE TO EXTEND UP AND OVER PARAPET WALL
7.22	OVERBUILD EXISTING ROOF DECK THIS AREA
7.23	LAP SEALANT
7.32	GRC PREFABRICATED COLUMN ENCLOSURE, PAINTED
7.33	COMPOSITE LAP Siding
7.34	PREFINISHED GUTTER
7.35	PREFINISHED DOWNSPOUT
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10.7	KITCHEN EQUIPMENT
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26.5	REPLACE EXISTING WALL MOUNTED LIGHT FIXTURES EACH SIDE OF ENTRANCE DOOR
D.1	REMOVE EXISTING EXTERIOR WALL CONSTRUCTION.
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D.9	REMOVE PORTION OF EXISTING IRON FENCE
D.10	REMOVE EXISTING CONCRETE STOOP
D.11	REMOVE EXISTING BRICK CHIMNEY
D.12	REMOVE EXISTING FRP PANEL
D.13	REMOVE SUBFLOOR TO EXPOSE FLOOR JOISTS (PRESUMED FORMER PORCH FLOOR)

AMENDED ELEVATIONS



2 NORTH ELEVATION
A501
ORIGINAL SCALE PRINTED @ 30X42 IS 1/4" = 1'-0"



1 EAST ELEVATION
A501
ORIGINAL SCALE PRINTED @ 30X42 IS 1/4" = 1'-0"

KEYNOTES.	
3.3	CONTINUOUS REINFORCED CONCRETE FOUNDATION WALL AND FOOTING
4.8	CLEAN EXISTING LIMESTONE
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D.13	REMOVE SUBFLOOR TO EXPOSE FLOOR JOISTS (PRESUMED FORMER PORCH FLOOR)



135 SOUTH MAIN STREET
ZIONSVILLE, INDIANA 46077

OWNER

SHARI JENKINS

THE TIPSY MERMAID
135 SOUTH MAIN STREET
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ARCHITECT

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INTERIOR DESIGN

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MECHANICAL AND ELECTRICAL ENGINEER

GENESIS ENGINEERING GROUP

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WWW.GENESIS-ENGINEERING.COM

FOOD SERVICE CONSULTANT

C&T DESIGN AND EQUIPMENT CO.

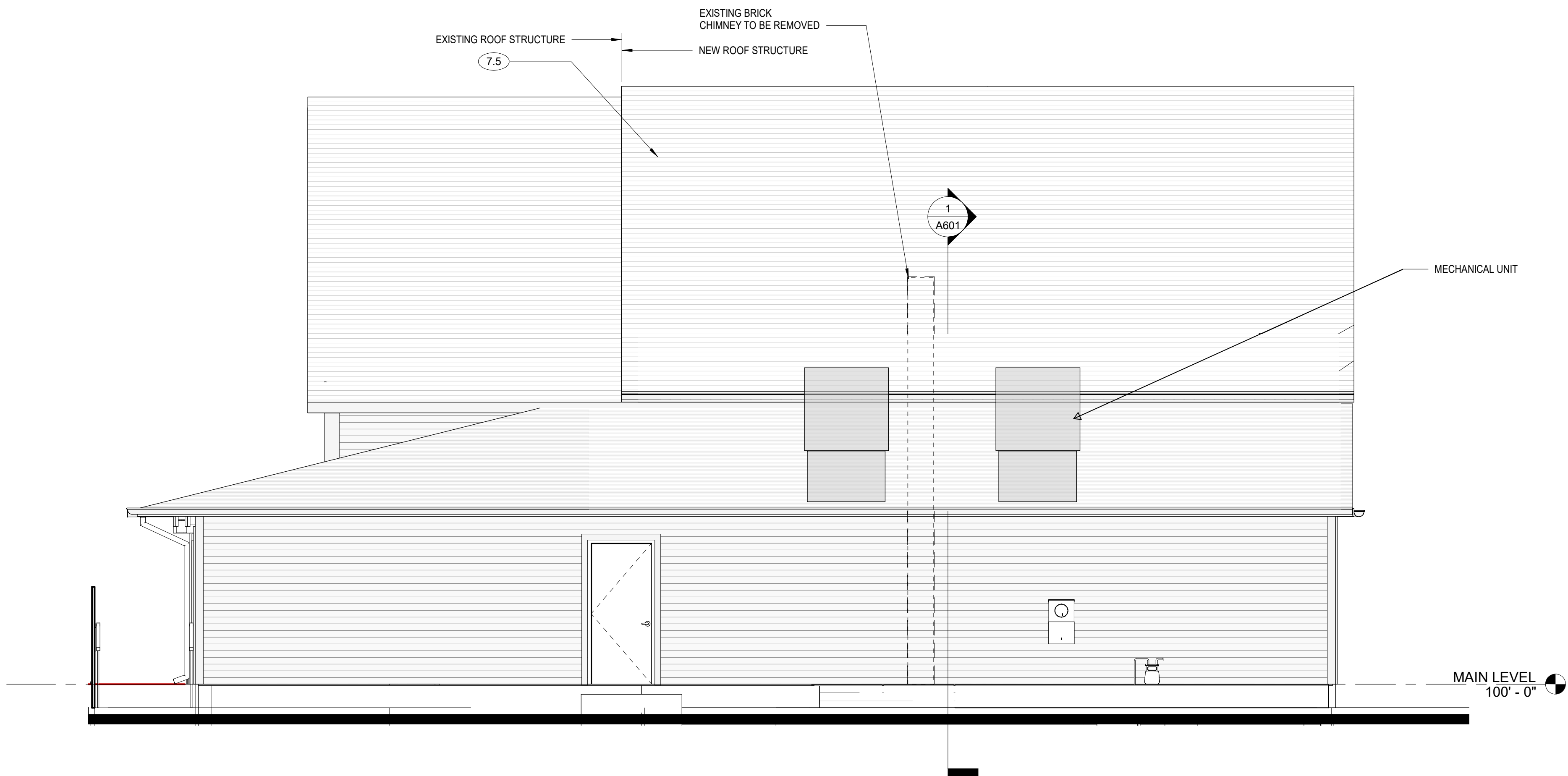
2750 TOBEY DRIVE
INDIANAPOLIS, INDIANA 46219
PHONE: 317.286.9602
WWW.C-TDESIGN.COM

KEYNOTES.

3.3	CONTINUOUS REINFORCED CONCRETE FOUNDATION WALL AND FOOTING
4.8	CLEAN EXISTING LIMESTONE
5.9	STEEL RAILING, PAINTED, 36" ABOVE WALKING SURFACE
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7.36	REPAIR EXISTING PORCH WOOD TRIM, REPAINT
7.37	COMPOSITE TRIM
8.2	CLAD WOOD DOOR
8.4	HOLLOW METAL DOOR, INSULATED, PAINTED
8.13	REPAIR/PAINT EXISTING WOOD WINDOW FRAME AND MUNTINS, COLOR: WHITE, BASED UPON SITE MOCKUP APPROVAL. TYPICAL AT EXISTING WINDOWS.
9.6	REMOVE EXISTING SHINGLE SIDING DOWN TO ORIGINAL LAP SIDING. REPAIR/PAINT EXISTING LAP SIDING.
9.7	REPAIR/PAINT EXISTING WINDOW TRIM SURROUND, COLOR: WHITE.
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9.9	FRP WALL PANEL OVER WALL CONSTRUCTION (EXISTING OR NEW DRYWALL)
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D.8	REMOVE EXISTING TREE AND ROOT SYSTEM.
D.9	REMOVE PORTION OF EXISTING IRON FENCE.
D.10	REMOVE EXISTING CONCRETE STOOP
D.11	REMOVE PORTION OF EXISTING STAIR LANDING AND SHORT FLIGHT FROM LANDING.
D.12	REMOVE EXISTING INTERIOR PARTITION.



2 NORTH ELEVATION
A501
1' 4' 8' 12'
ORIGINAL SCALE PRINTED @ 30X42 IS 1/4" = 1'-0"



1 EAST ELEVATION
A501
1' 4' 8' 12'
ORIGINAL SCALE PRINTED @ 30X42 IS 1/4" = 1'-0"

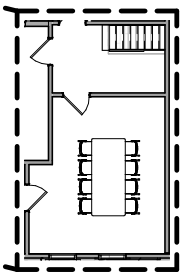
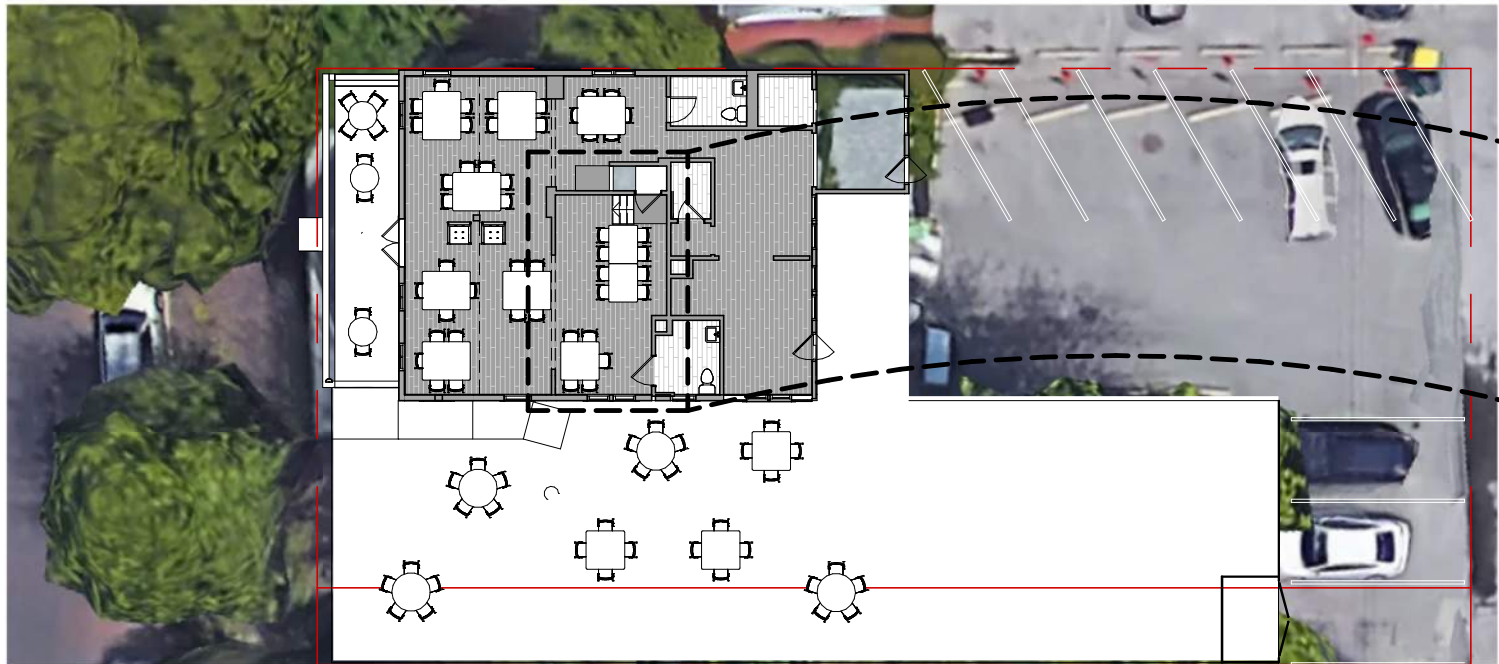
DAVID RAUSCH STUDIO
Architecture & Interiors
THE ART OF BUILDING™

ISSUE DATE:	2021-05-14
REVISION SCHEDULE	
1 REVISION	2021-08-11
2 BID SET	2021-09-10

ELEVATIONS

A501

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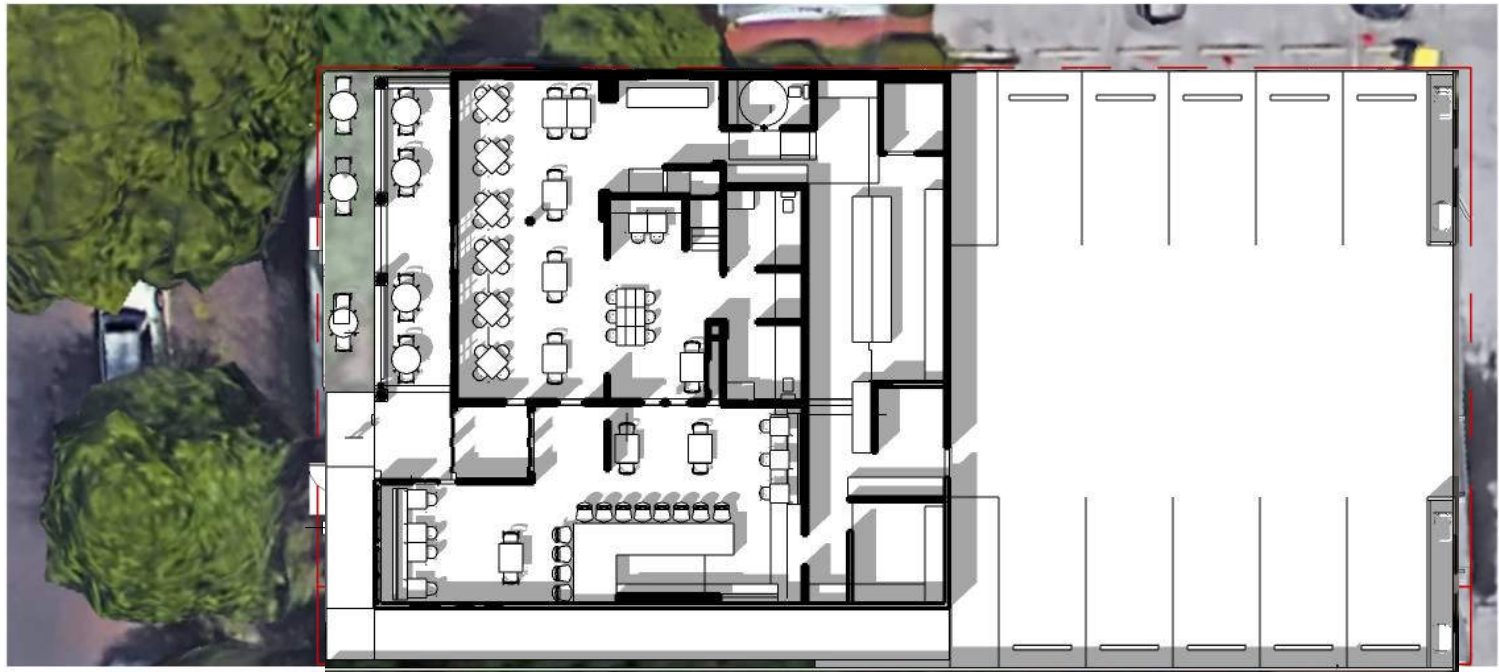


SERENITY
SECOND FLOOR
SEATING PLAN

SERENITY SEATING PLAN

GUEST SEATING

	EXISTING (FORMER)	PROPOSED
2 TOP SEATS		8
4 TOP SEATS		16
BANQUETTE SEATS		4
BOOTH SEATS		10
DINING SUBTOTAL	49	38
SECOND FLOOR	8	0
BAR SEATS		14
BAR AREA COUNTER		5
BAR SUBTOTAL	0	19

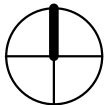


NEW SEATING PLAN

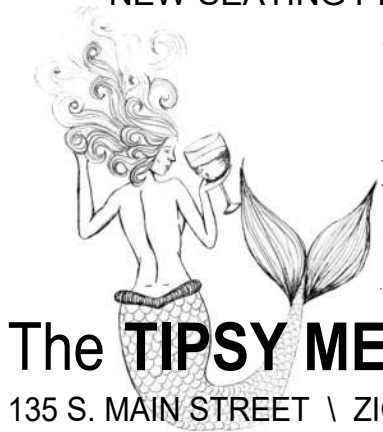
INDOOR SEATS TOTAL	57	78
OUTDOOR SEATS	40	14
TOTAL SEATS	97	92

EXISTING AND PROPOSED SEATING

SCALE: 1" = 20'



2022-04-04



The TIPSy MERMAID

135 S. MAIN STREET \ ZIONSVILLE, INDIANA

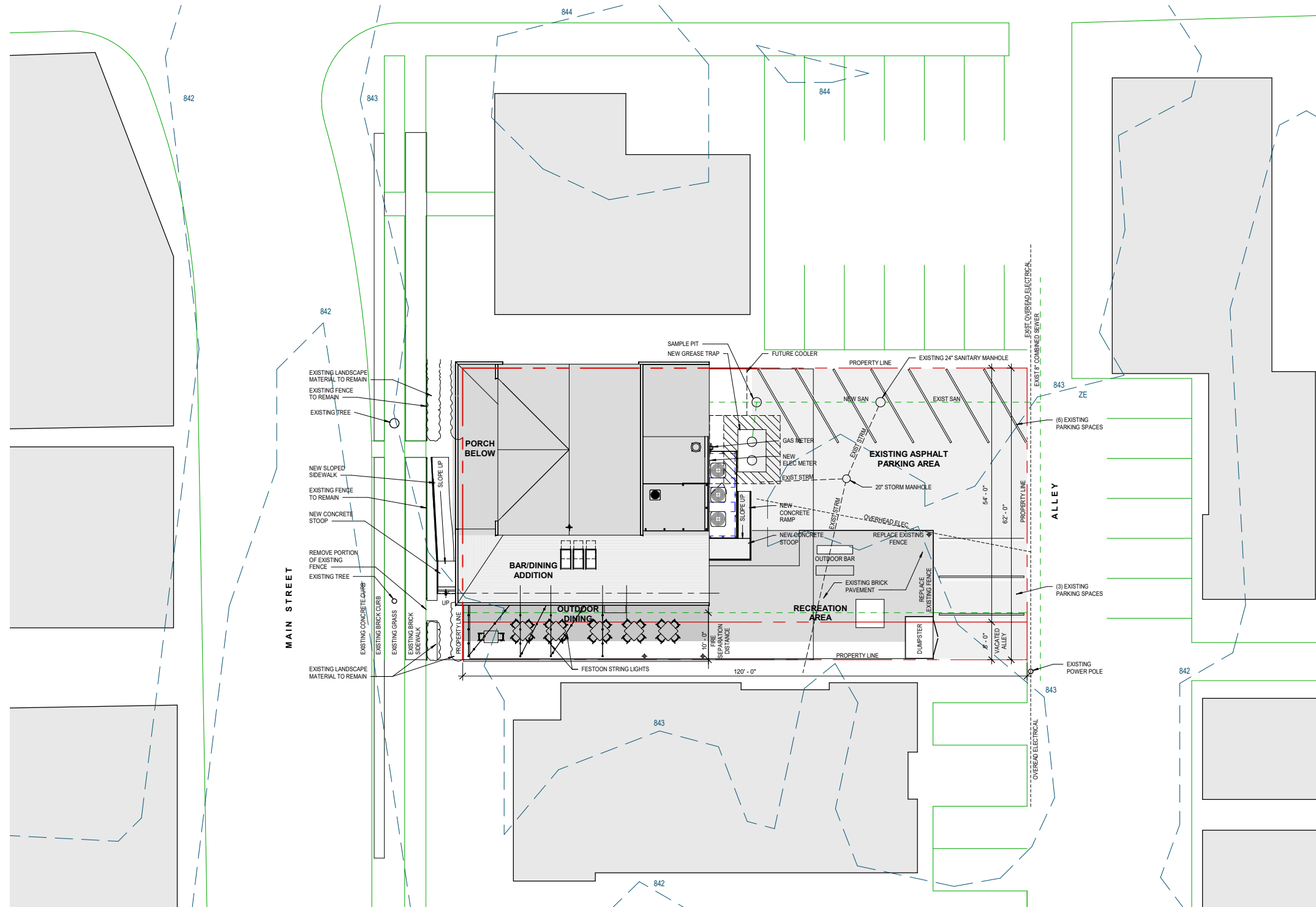
PRELIMINARY

DAVID RAUSCH STUDIO

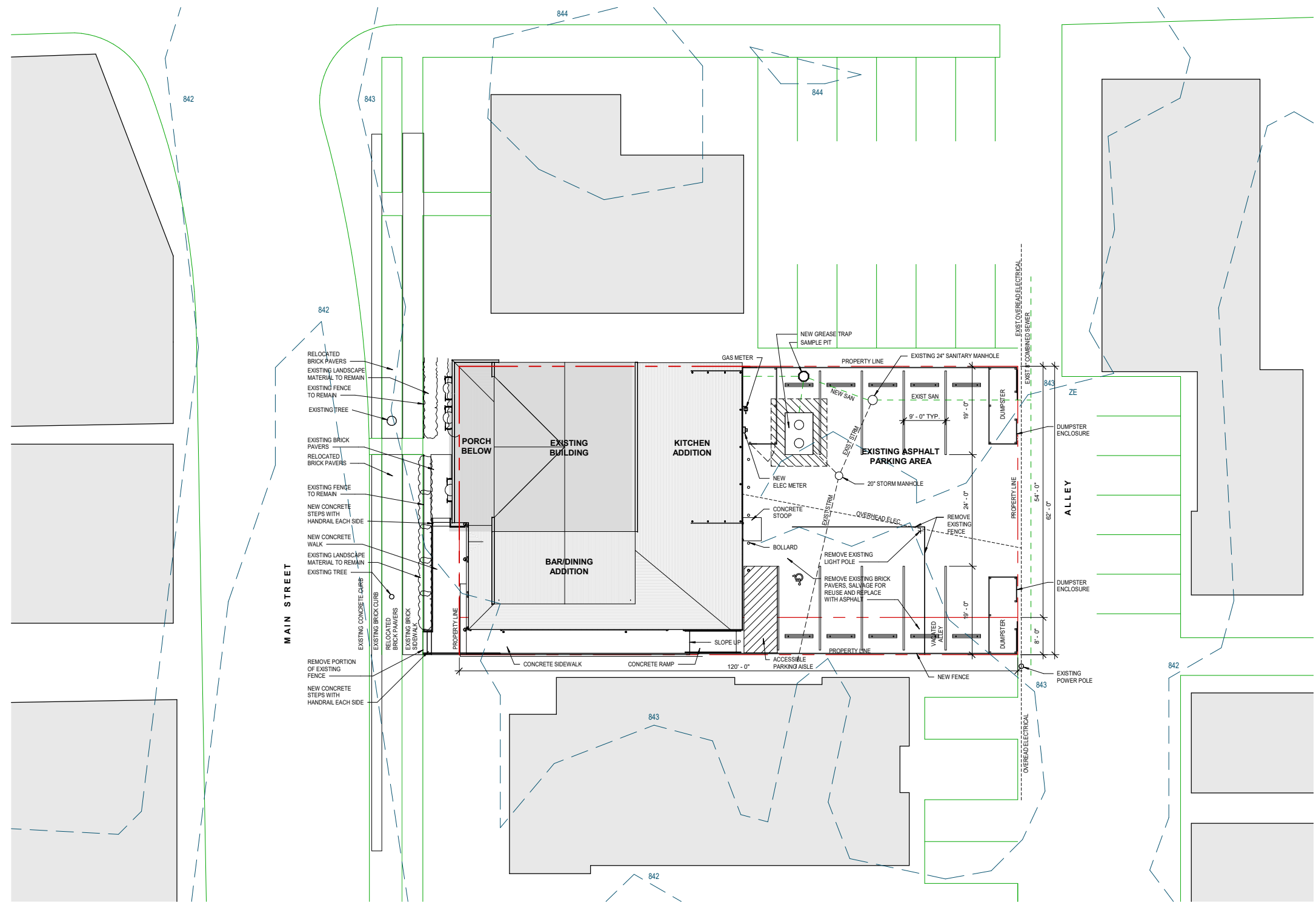
Architecture & Interiors
THE ART of BUILDING™

18 FEBRUARY 2022

PREVIOUS SITE PLAN



AMENDED SITE PLAN



2
A500

WEST ELEVATION

1" 4" 8" 12"
ORIGINAL SCALE PRINTED @ 30X42 IS 1/4" = 1'-0"

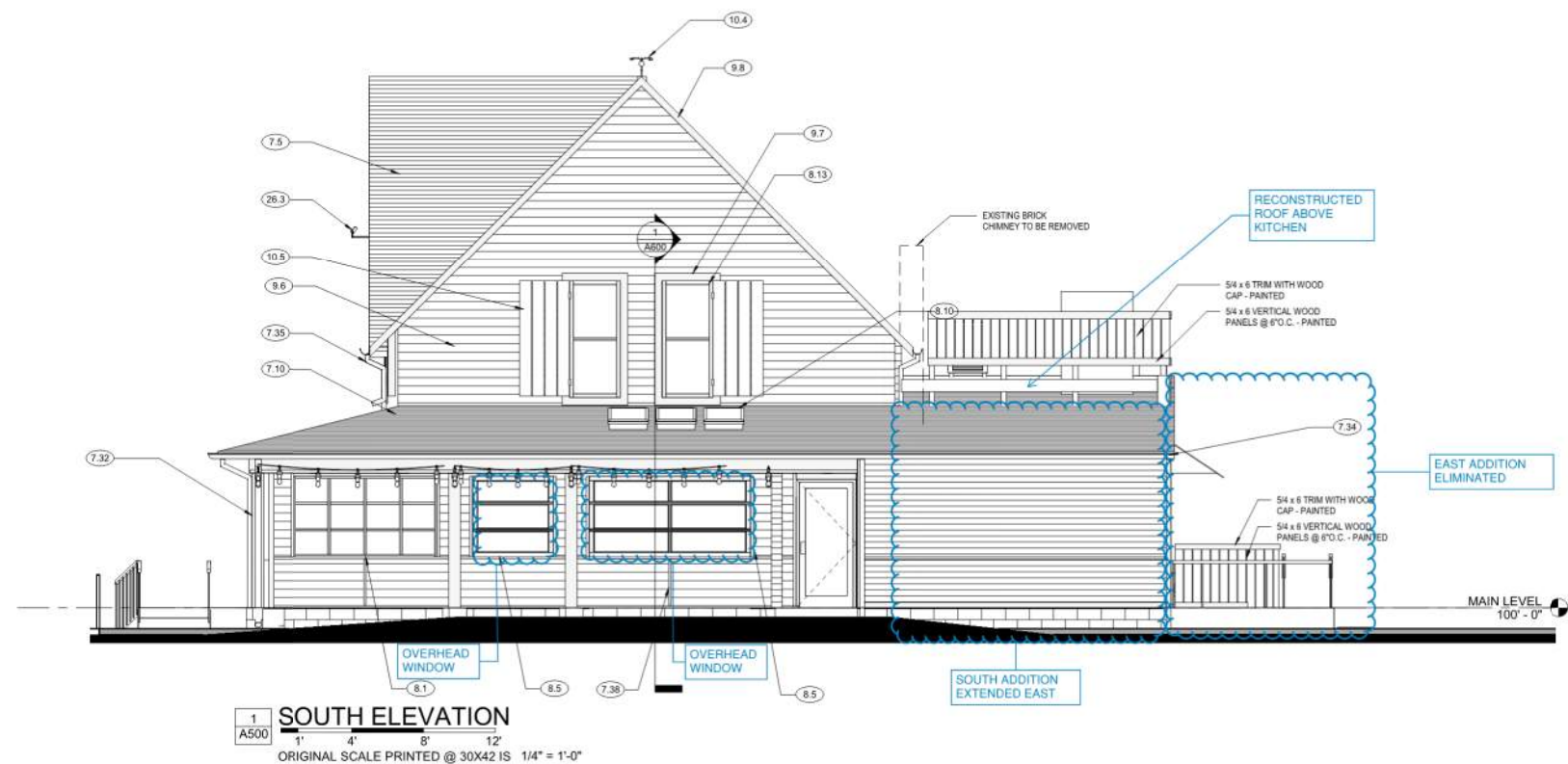
ACCESSIBLE SLOPED WALK

OVERHEAD WINDOW

ENTRANCE DOOR

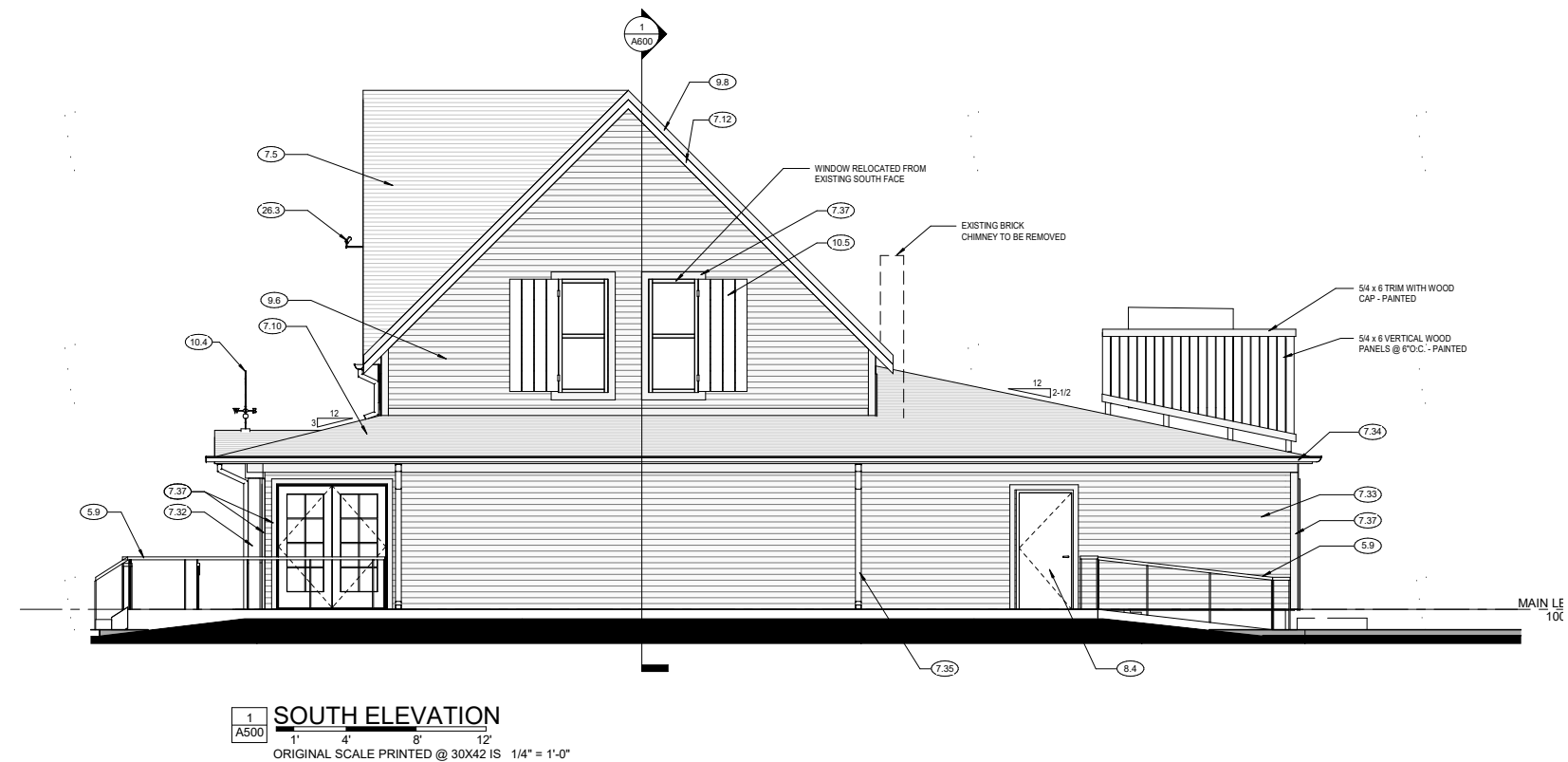
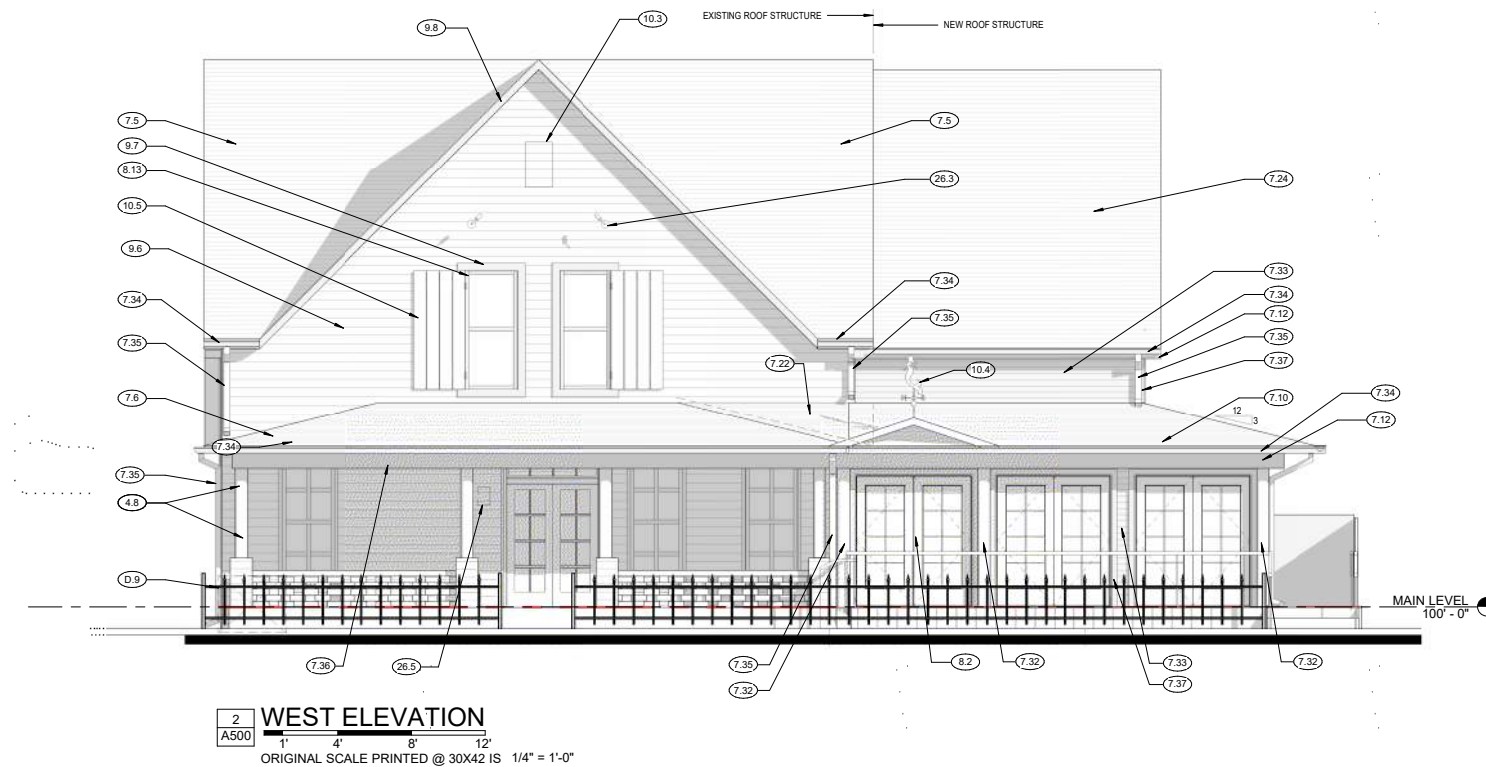
GATE OPENING

MAIN LEVEL
100'-0"



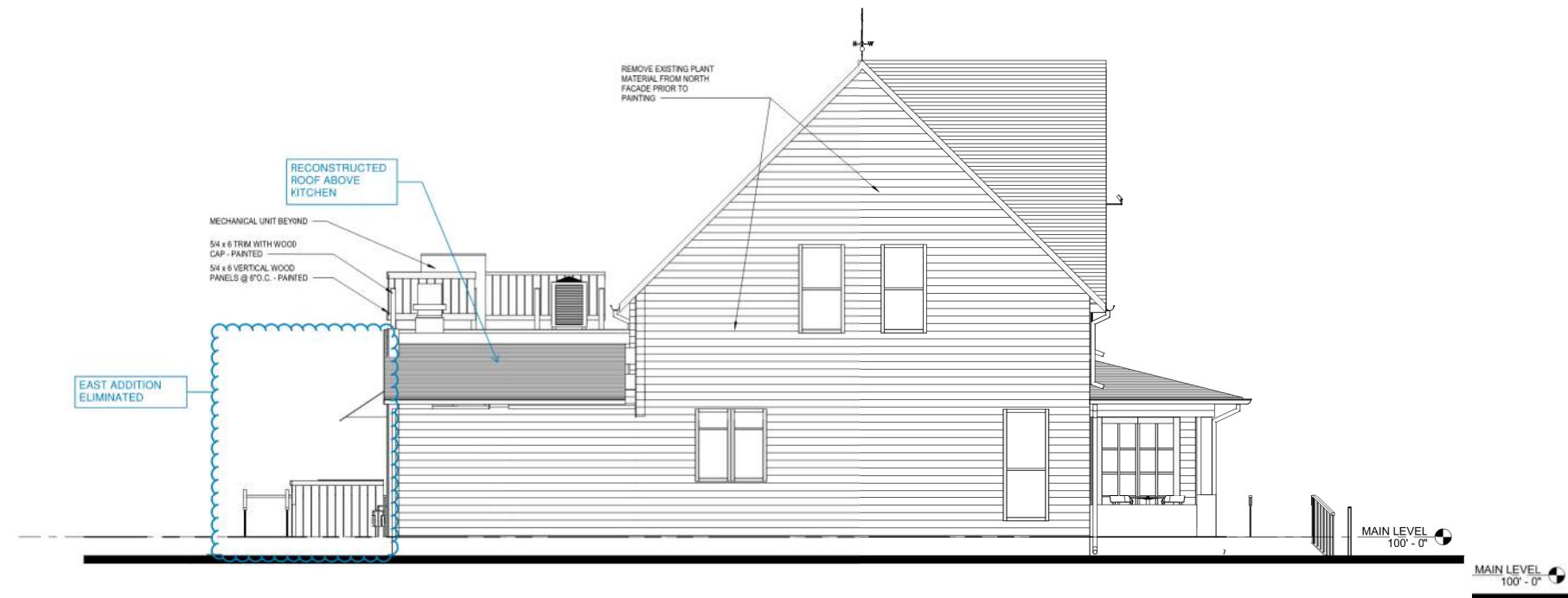
KEYNOTES.	
3.3	CONTINUOUS REINFORCED CONCRETE FOUNDATION WALL AND FOOTING
4.8	CLEAN EXISTING LIMESTONE
5.0	3" DIAMETER STEEL POST, PAINTED
6.1	WOOD STUO
6.2	WOOD FRAMING
6.3	PL WOOD SHEATHING
6.4	ROOF DECK SHEATHING
6.5	COMPOSITE SHEATHING
6.8	WOOD JOIST
6.9	WOOD SUBFLOOR
6.13	WOOD PLATE
7.3	BATT INSULATION
7.4	VAPOR BARRIER
7.5	EXISTING ASPHALT / SHINGLES TO REMAIN
7.8	REPLACE EXISTING ASPHALT SHINGLES WITH FULL ICE AND WATER SHIELD UNDERLAYMENT
7.9	ROOF MEMBRANE SYSTEM
7.10	ASPHALT SHINGLES WITH FULL ICE AND WATER SHIELD UNDERLAYMENT
7.11	RIGID INSULATION, R-20 MINIMUM
7.12	COMPOSITE FASCIA TRIM, PAINTED
7.13	RECOVERY BOARD
7.15	BASE FLASHING AND COUNTER FLASHING, EXTEND ROOF MEMBRANE UP WALL 1' MIN.
7.17	PREFINISHED METAL WALL COPING
7.19	ROOF MEMBRANE TO EXTEND UP AND OVER PARAPET WALL
7.22	OVERBUILD EXISTING ROOF DECK THIS AREA
7.23	LAP SEALANT
7.32	GFRC PREFABRICATED COLUMN ENCLOSURE, PAINTED
7.33	COMPOSITE LAP SIDING
7.34	REFINISHED GUTTER
7.35	REFINISHED DOWNSPOUT
7.36	REPAIR EXISTING PORCH WOOD TRIM, REPAINT
7.37	COMPOSITE TRIM
7.38	COMPOSITE BATTEN TRIM
8.1	ALUMINUM STOREFRONT, THERMALLY BROKEN, PAINTED FINISH, KNAUFER TRIPRAB AS5 SYSTEM
8.3	ALUMINUM B-FOLDING WINDOW
8.10	SKYLIGHT
8.12	REPAIR/PAINT EXISTING WOOD WINDOW FRAME AND TRIM, COLOR: WHITE. REPAIR/PAINT EXISTING WOOD SILL APPROVAL. TYPICAL AT EXISTING WINDOWS.
8.6	PANEL EXISTING SIDING, COLOR: LIGHT GRAY. BASED UPON SITE MOCKUP APPROVAL. TYPICAL AT EXISTING SIDING.
9.7	REPAIR/PAINT EXISTING WINDOW TRIM SURROUND. COLOR: WHITE.
9.8	PANEL EXISTING WOOD FASCIA
9.9	FRP WALL PANEL OVER WALL CONSTRUCTION (EXISTING OR NEW DRYWALL)
9.10	SUSPENDED CEILING SYSTEM
10.3	WALL MOUNTED ARTWORK
10.4	WEATHER VANE
10.5	DECORATIVE SHUTTER
10.6	KITCHEN EXHAUST HOOD
10.7	KITCHEN EQUIPMENT
22.2	KITCHEN EXHAUST ON BUILT-UP CURB
26.3	WALL MOUNTED LIGHT FIXTURE
26.4	RECESSED LIGHTING
26.5	REPAIR EXISTING WALL MOUNTED LIGHT FIXTURES EACH SIDE OF ENTRANCE DOOR
D.1	REMOVE EXISTING EXTERIOR WALL CONSTRUCTION.
D.2	REMOVE EXISTING INTERIOR WALL CONSTRUCTION.
D.3	REMOVE EXISTING WINDOW.
D.4	REMOVE EXISTING DOOR, FRAME AND HARDWARE.
D.5	CUT PROVIDE HEADER AND FRAME FLOOR OPENING TO RECEIVED NEW CEILING STAR.
D.6	REMOVE EXISTING RAILING AND RAILING.
D.7	REMOVE BUILDING ADDITION INCLUDING ABOVE FOUNDATION FRAMING, WALLS, CEILING AND ROOF CONSTRUCTION.
D.8	REMOVE EXISTING TREE AND ROOT SYSTEM
D.9	REMOVE PORTION OF EXISTING ROOF FINCE
D.10	REMOVE EXISTING CONCRETE STUOP
D.11	REMOVE EXISTING BRICK CHIMNEY
D.12	REMOVE EXISTING FRP PANEL
D.13	REMOVE SUBFLOOR TO EXPOSE FLOOR JOISTS (PRESUMED FORMER FLOOR)

AMENDED ELEVATIONS

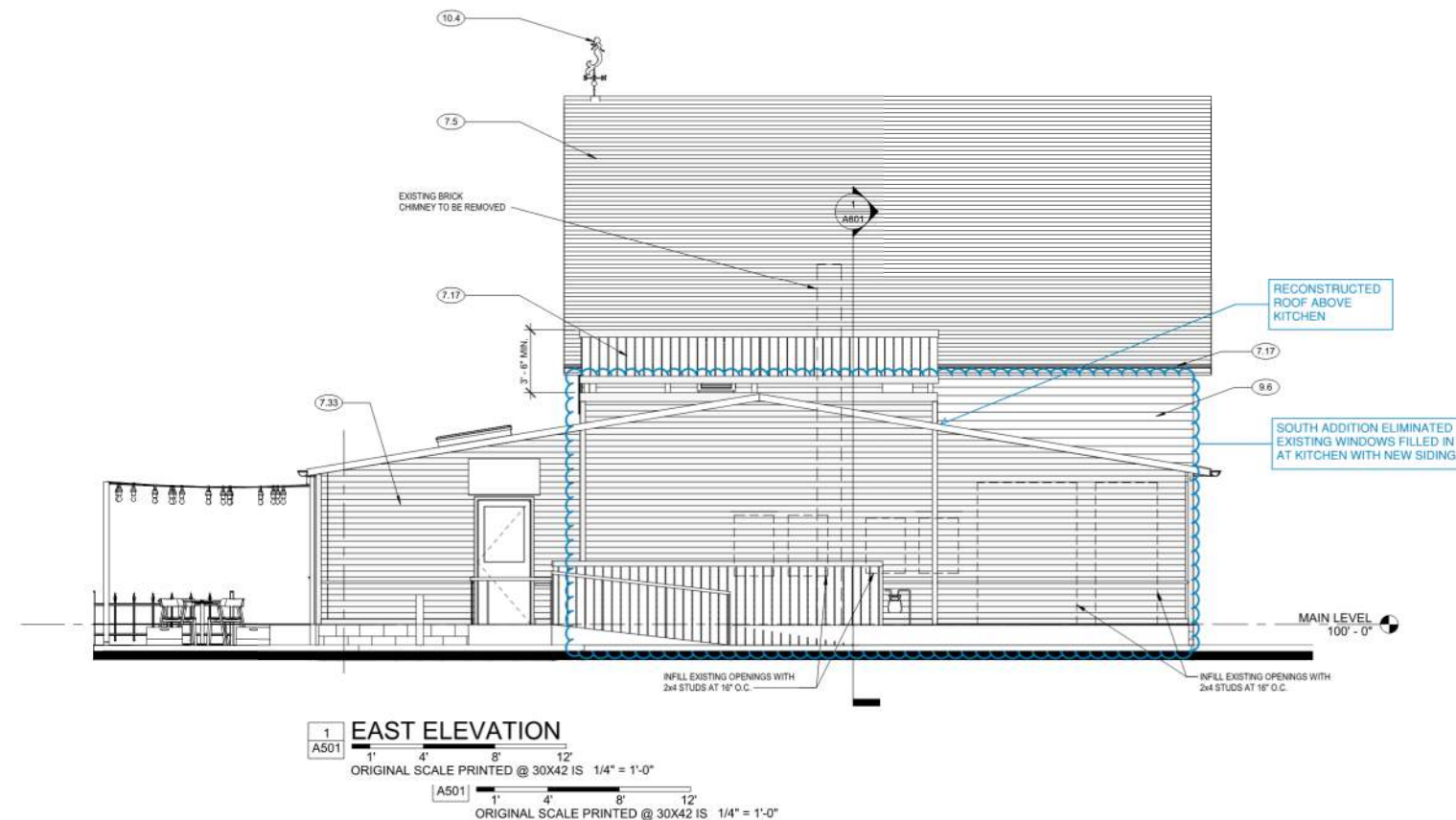


KEYNOTES.	
3.3	CONTINUOUS REINFORCED CONCRETE FOUNDATION WALL AND FOOTING
4.8	CLEAN EXISTING LIMESTONE
5.0	3" DIAMETER STEEL POST, PAINTED
6.1	WOOD STUD
6.2	WOOD FRAMING
6.3	PX WOOD SHEATHING
6.4	ROOF DECK SHEATHING
6.5	COMPOSITE SHEATHING
6.6	WOOD JOIST
6.9	WOOD SUBFLOOR
6.13	WOOD PLATE
7.3	BATT INSULATION
7.4	VAPOR BARRIER
7.5	EXISTING ASPHALT SHINGLES TO REMAIN
7.6	REPLACE EXISTING ASPHALT SHINGLES WITH FULL ICE AND WATER SHIELD UNDERLAYMENT
7.9	ROOF MEMBRANE SYSTEM
7.10	ASPHALT SHINGLES WITH FULL ICE AND WATER SHIELD UNDERLAYMENT
7.11	RIGID INSULATION R-20 MINIMUM
7.12	COMPOSITE FASCIA TRIM, PAINTED
7.13	RECOVERY BOARD
7.15	BASE FLASHING AND COUNTER FLASHING, EXTEND ROOF MEMBRANE UP WALL 3' MIN.
7.17	REFINISHED METAL WALL COPING
7.19	ROOF MEMBRANE TO EXTEND UP AND OVER PARAPET WALL
7.22	OVERBUILD EXISTING ROOF DECK THIS AREA
7.23	LAP SEALANT
7.32	GFRC PREFABRICATED COLUMN ENCLOSURE, PAINTED FINISH, KANINEX TRIP-HAST SYSTEM
7.33	COMPOSITE LAP SIDING
7.34	REFINISHED GUTTER
7.35	REFINISHED DOWNSPOUT
7.36	REPAIR EXISTING PORCH WOOD TRIM, REPAINT
7.37	COMPOSITE TRIM
7.38	COMPOSITE BATTEN TRIM
8.1	ALUMINUM STICFLOREX, THERMALLY BROKEN, PAINTED FINISH, KANINEX TRIP-HAST SYSTEM
8.5	ALUMINUM BI-FOLDING WINDOW
8.10	SKYLIGHT
8.11	REPAIR/PAINT EXISTING WOOD WINDOW FRAME AND PARTS. COLOR: WHITE. TRIM: EXIST UPON SITE MOCKUP APPROVAL. TYPICAL AT EXISTING WINDOWS.
9.6	PANEL EXISTING SIDING, COLOR: LIGHT GRAY. BACKUP UPON SITE MOCKUP APPROVAL. TYPICAL AT EXISTING SIDING.
9.7	REPAIR/PAINT EXISTING WINDOW TRIM SURROUND. COLOR: WHITE.
9.8	PANEL EXISTING WOOD FASCIA
9.9	FRP WALL PANEL OVER WALL CONSTRUCTION (EXISTING OR NEW DRYWALL)
10.3	SUSPENDED CEILING SYSTEM
10.4	WALL MOUNTED ARTWORK
10.4	WEATHER VANE
10.5	DECORATIVE SHUTTER
10.6	KITCHEN EXHAUST HOOD
10.7	KITCHEN EQUIPMENT
23.2	KITCHEN EXHAUST ON BUILT-UP CURB
26.3	WALL MOUNTED LIGHT FIXTURE
26.4	PESTION LIGHTING
26.5	REPLACE EXISTING WALL MOUNTED LIGHT FIXTURES EACH SIDE OF ENTRANCE DOOR
D.1	REMOVE EXISTING EXTERIOR WALL CONSTRUCTION.
D.2	REMOVE EXISTING INTERIOR WALL CONSTRUCTION.
D.3	REMOVE EXISTING WINDOW
D.4	REMOVE EXISTING DOOR, FRAME AND HARDWARE.
D.5	CUT PROVIDE HEADER AND FRAME FLOOR OPENING TO RECEIVED NEW CEILING STAR.
D.6	REMOVE EXISTING RAIL LANDING AND RAILING.
D.7	REMOVE BUILDING ADDITION INCLUDING ABOVE FOUNDATION FRAMING, WALLS, CEILING AND ROOF CONSTRUCTION.
D.8	REMOVE EXISTING TREE AND ROOT SYSTEM
D.9	REMOVE PORTION OF EXISTING RAIL FENCE
D.10	REMOVE EXISTING CONCRETE STOOP
D.11	REMOVE EXISTING BRICK CHIMNEY
D.12	REMOVE EXISTING FRP PANEL
D.13	REMOVE SUBFLOOR TO EXPOSE FLOOR JOISTS (PRESUMED FORMER PORCH FLOOR)

PREVIOUS ELEVATIONS



2 NORTH ELEVATION
A501
1' 4' 8' 12'
ORIGINAL SCALE PRINTED @ 30X42 IS 1/4" = 1'-0"



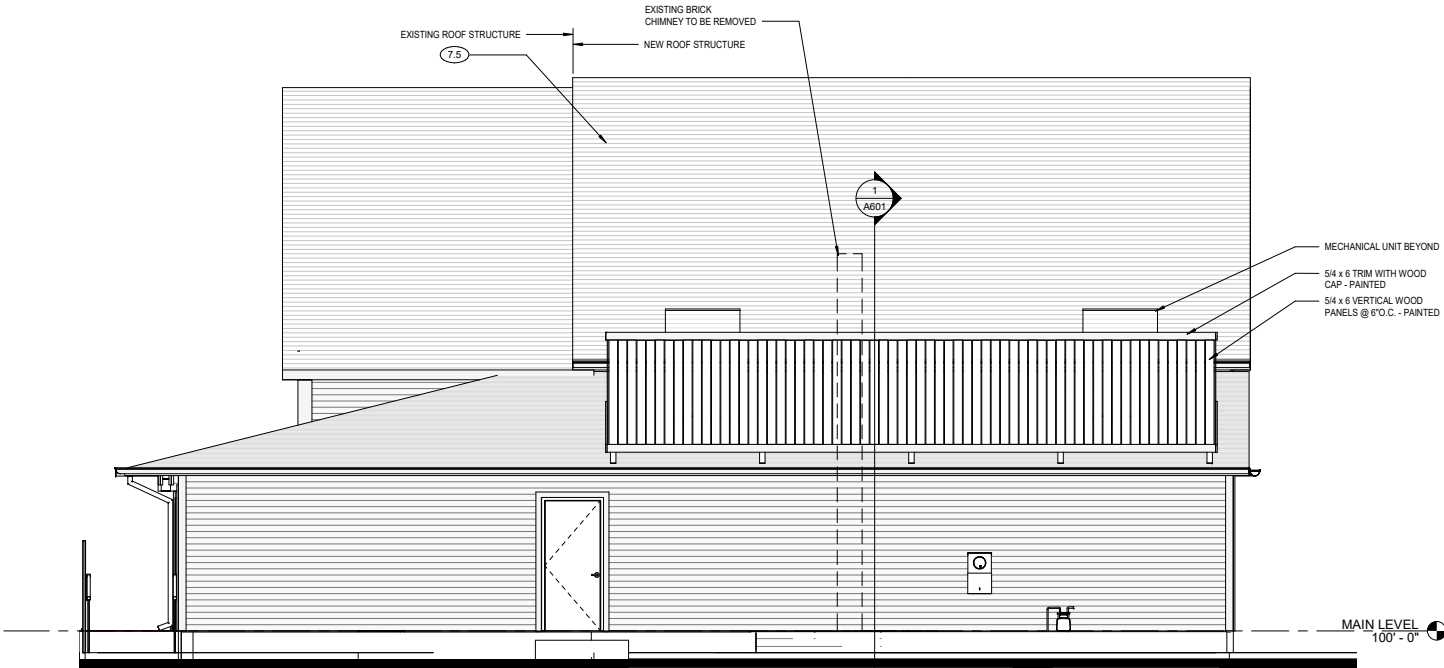
1 EAST ELEVATION
A501
1' 4' 8' 12'
ORIGINAL SCALE PRINTED @ 30X42 IS 1/4" = 1'-0"

KEYNOTES.	
3.3	CONTINUOUS REINFORCED CONCRETE FOUNDATION WALL AND FOOTING
4.8	CLEAN EXISTING LIMESTONE
5.10	3" DIAMETER STEEL POST, PAINTED
6.1	WOOD STUD
6.2	WOOD FRAMING
6.3	PLYWOOD SHEATHING
6.4	ROOF DECK SHEATHING
6.5	COMPOSITE SHEATHING
6.6	WOOD JOIST
6.8	WOOD SUBFLOOR
6.13	WOOD PLATE
7.3	BATT INSULATION
7.4	VAPOR BARRIER
7.5	EXISTING ASPHALT SHINGLES TO REMAIN
7.6	REPLACE EXISTING ASPHALT SHINGLES WITH FULL ICE AND WATER SHIELD UNDERLAYMENT
7.9	ROOF MEMBRANE SYSTEM
7.10	ASPHALT SHINGLES WITH FULL ICE AND WATER SHIELD UNDERLAYMENT
7.11	RIGID INSULATION, R-20 MINIMUM
7.12	COMPOSITE FASCIA TRIM, PAINTED
7.13	RECOVERY BOARD
7.15	BASE FLASHING AND COUNTER FLASHING, EXTEND ROOF MEMBRANE UP WALL 6" MIN.
7.17	PREFINISHED METAL WALL COPING
7.19	ROOF MEMBRANE TO EXTEND UP AND OVER PARAPET WALL
7.22	OVERBUILD EXISTING ROOF DECK THIS AREA
7.23	LAP SEALANT
7.32	GRC PREFABRICATED COLUMN ENCLOSURE, PAINTED
7.33	COMPOSITE LAP Siding
7.34	PREFINISHED GUTTER
7.35	PREFINISHED DOWNSPOUT
7.36	REPAIR EXISTING PORCH WOOD TRIM, REPAINT
7.37	COMPOSITE TRIM
7.38	COMPOSITE BATTEN TRIM
8.1	ALUMINUM STOREFRONT, THERMALLY BROKEN, PAINTED FINISH, KAWNEER TRIFAB 451 SYSTEM
8.5	ALUMINUM BI-FOLDING WINDOW
8.10	SKYLIGHT
8.13	REPAIR/PAINT EXISTING WOOD WINDOW FRAME AND MUNTINS, COLOR: WHITE, BASED UPON SITE MOCKUP APPROVAL. TYPICAL AT EXISTING WINDOWS.
9.6	PAINT EXISTING Siding, COLOR: LIGHT GRAY, BASED UPON SITE MOCKUP APPROVAL. TYPICAL AT EXISTING Siding.
9.7	REPAIR/PAINT EXISTING WINDOW TRIM SURROUND, COLOR: WHITE
9.8	PAINT EXISTING WOOD FASCIA
9.9	FRP WALL PANEL OVER WALL CONSTRUCTION (EXISTING OR NEW DRYWALL)
8.10	SUSPENDED CEILING SYSTEM
10.3	WALL MOUNTED ARTWORK
10.4	WEATHER VANE
10.5	DECORATIVE SHUTTER
10.6	KITCHEN EXHAUST HOOD
10.7	KITCHEN EQUIPMENT
23.2	KITCHEN EXHAUST ON BUILT-UP CURB
26.3	WALL MOUNTED LIGHT FIXTURE
26.4	FESTOON LIGHTING
26.5	REPLACE EXISTING WALL MOUNTED LIGHT FIXTURES EACH SIDE OF ENTRANCE DOOR
D.1	REMOVE EXISTING EXTERIOR WALL CONSTRUCTION.
D.2	REMOVE EXISTING INTERIOR WALL CONSTRUCTION.
D.3	REMOVE EXISTING WINDOW.
D.4	REMOVE EXISTING DOOR, FRAME AND HARDWARE.
D.5	CUT, PROVIDE HEADER AND FRAME FLOOR OPENING TO RECEIVE NEW CELLAR STAIR.
D.6	REMOVE EXISTING RAMP, LANDING AND RAILING.
D.7	REMOVE BUILDING ADDITION INCLUDING ABOVE FOUNDATION FRAMING, WALLS, CEILING AND ROOF CONSTRUCTION.
D.8	REMOVE EXISTING TREE AND ROOT SYSTEM
D.9	REMOVE PORTION OF EXISTING IRON FENCE
D.10	REMOVE EXISTING CONCRETE STOOP
D.11	REMOVE EXISTING BRICK CHIMNEY
D.12	REMOVE EXISTING FRP PANEL
D.13	REMOVE SUBFLOOR TO EXPOSE FLOOR JOISTS (PRESUMED FORMER PORCH FLOOR)

AMENDED ELEVATIONS



2 NORTH ELEVATION
A501
ORIGINAL SCALE PRINTED @ 30X42 IS 1/4" = 1'-0"



1 EAST ELEVATION
A501
ORIGINAL SCALE PRINTED @ 30X42 IS 1/4" = 1'-0"

KEYNOTES.	
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7.12	COMPOSITE FASCIA TRIM, PAINTED
7.13	RECOVERY BOARD
7.15	BASE FLASHING AND COUNTER FLASHING, EXTEND ROOF MEMBRANE UP WALL 8" MIN.
7.17	PREFINISHED METAL WALL COPING
7.19	ROOF MEMBRANE TO EXTEND UP AND OVER PARAPET WALL
7.22	OVERBUILD EXISTING ROOF DECK THIS AREA
7.23	LAP SEALANT
7.32	GFRP PREFABRICATED COLUMN ENCLOSURE, PAINTED
7.33	COMPOSITE LAP SIDING
7.34	PREFINISHED GUTTER
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9.6	PAINT EXISTING SIDING, COLOR: LIGHT GRAY, BASED UPON SITE MOCKUP APPROVAL. TYPICAL AT EXISTING SIDING.
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9.8	PAINT EXISTING WOOD FASCIA
9.9	FRP WALL PANEL OVER WALL CONSTRUCTION (EXISTING OR NEW DRYWALL)
9.10	SUSPENDED CEILING SYSTEM
10.3	WALL MOUNTED ARTWORK
10.4	WEATHER VANE
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26.4	FESTOON LIGHTING
26.5	REPLACE EXISTING WALL MOUNTED LIGHT FIXTURES EACH SIDE OF ENTRANCE DOOR
D.1	REMOVE EXISTING EXTERIOR WALL CONSTRUCTION
D.2	REMOVE EXISTING INTERIOR WALL CONSTRUCTION
D.3	REMOVE EXISTING WINDOW
D.4	REMOVE EXISTING DOOR, FRAME AND HARDWARE
D.5	CUT, PROVIDE HEADER AND FRAME FLOOR OPENING TO RECEIVED NEW CELLAR STAIR
D.6	REMOVE EXISTING RAMP, LANDING AND RAILING
D.7	REMOVE BUILDING ADDITION INCLUDING ABOVE FOUNDATION FRAMING, WALLS, CEILING AND ROOF CONSTRUCTION.
D.8	REMOVE EXISTING TREE AND ROOT SYSTEM
D.9	REMOVE PORTION OF EXISTING IRON FENCE
D.10	REMOVE EXISTING CONCRETE STODP
D.11	REMOVE EXISTING BRICK CHIMNEY
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